

Financing Buffalo Ridge Proposal

Development Team Experience

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Developer- Grande
Property/Development
Capital Investments

Development Experience

Blue Ridge Log Cabins

The **Ultimate** Log Home Experience

as seen on

HGTV



Built with
Solid Log Construction

The BEST One Day Delivery service in the Log Home Business

Standard site built delivery



Blue Ridge Log Cabins Standard Delivery



and best of all you get it ALL!

- All Wood Flooring
- All Wood Cabinets
- All Lighting Fixtures
- All Interior Electrical
- All Interior Plumbing
- All Bathroom Fixtures
- All Kitchen Appliances

and we'll also

Build it in Half the TIME
as Conventional Construction

For ONE DAY Delivery Service

Call : 888-563-3275

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I-26 Exit 5 Campobello, SC

Visit our web site at

www.blueridgelogcabins.com

Construction Manager- Southeast Construction Group

Southeast Construction Group Experience in Residential/Commercial Construction and Renovation



**Southeast Construction Group -
Contractor**



FPT - Holding Company



**East-West Associates -
Property/Asset Manager**



Grande Homes - Homebuilder



FDG - Designer/Architect

May 2019

Construction



First Public Trust (FPT) is a diversified real estate investment holding company which incorporates **Southeast Construction Group (SCG)**, **Federal Design Group (FDG)**, **East-West Associates (EWA)**, **Grande Homes (GH)** and **Grande Property (GP)**. The experience of the consortium spans seven decades in residential and commercial real estate development in Florida, North Carolina and New York. FPT incorporates various partnerships involved in all aspects of real estate development. The affiliated companies have been involved in real estate development, construction, construction management, marketing, property management, environmental services, and utility development and operation.



Various Projects in Suffolk County, NY – Developed a total of 250 single-family primary residences and apartments in West Islip, Bay Shore, Brightwaters, Islip, and Fire Island on Long Island, NY. Single-family homes ranged from 1,000 to 2,000 gsf on lots of ½ acre to one acre, with values from \$175,000 to \$450,000. Role was Developer/Builder/Sales and Marketing.



Deerwood – Situated in the Blue Ridge Mountains of western North Carolina, this 20-acre development consists of 18 waterfront and 9 non-waterfront sites on lots of ¼-acre to two-acres. Targeted at second home buyers, homes range from \$600,000 to \$4,000,000, and homesites average \$500,000. Role was Developer/Marketing/Lending. Total built-out value of the community was \$40,000,000; project is in final stages of marketing.



Cedar Creek/Cove Creek – Located in the mountains of North Carolina, these two developments of primary, second and vacation homesites are situated on 340 acres and 190 acres respectively in parcels of one to five acres. Role was Developer/Marketing/Lending, providing financing to qualified purchasers. The last phase of marketing is underway.



Point O' Woods – Located in Central Florida, this 270-acre master-planned community of single and multi-family residences targeted at active seniors features 462 duplex villas, patio homes and fourplex townhomes ranging in size from 900 to 2,200 gsf on lots of 5,000 to 14,000 sf. Value of homes range from \$100,000 to \$195,000. Community amenities include golf course, marina, nature trails, biking paths, country club, pool and cabana. Total built-out value of the community was \$64,000,000. Role was Developer/Builder/Marketing/Utility and Road Contractor/Golf Developer-Owner-Operator. The project was completed and sold out in 1994.



Seven Lakes – Seven Lakes, located in Central Florida, is a 300-acre master-planned community of 340 home sites and single-family residences of 1,200 to 4,000 gsf each on lots ranging from ½ acre to one acre. The value of homes range from \$175,000 to \$450,000. Developed in four phases, including exclusive enclaves of Sawgrass and Baymeadows, the total built-out value of the community was \$80,000,000. Role in this project, which completed and sold out in 2004, was Developer/Builder/Marketing.



The Landings – The Landings, situated on Florida's Gulf Coast, is a 23-acre master-planned community of 78 duplex villa residences ranging from 1,500 to 3,500 gsf and with home values ranging from \$175,000 to \$300,000. The built-out value of the community, targeted at primary and second home buyers, was \$12,000,000. Role in this project, which sold out in 2000, was Developer/Builder/Sales and Marketing.



Sweetwater Pointe – Targeted at professionals, Sweetwater Pointe in Central Florida is a 100-acre master planned waterfront community of 60 single-family estate residences of \$250,000 to \$1,000,000. Lots range from one to five acres and residences range from 2,000 gsf to 4,000 gsf. The total built-out value of the community was \$30,000,000. Role in this project, which completed and sold out in 2000, was Developer/Builder/Marketing.



Palm Villas – Located in Orlando near Disney World, this 72,000 gsf, 54-suite hotel condominium offered rental rates ranging from \$99 to \$175/night, and purchase prices for its investor clientele from \$75,000 to \$125,000. Role was Developer/Builder/Sales and Marketing/Asset Manager. **Grand Palms** – This 151-unit multifamily apartment complex, located in Kissimmee, Florida, had a project value of \$12,000,000. FPT's role was Developer/Sales and Marketing. The project was sold in 1992.

Deerwood



Development Profile

Project: Deerwood

Location: Western North Carolina in Blueridge Mountain community where *Last of the Mohicans* and *Dirty Dancing* were filmed

Size: 20 acres/2000 feet of waterfront

18 waterfront sites and 9 non-waterfront sites

Lot size: ¼-acre to two-acre sites

Value of homes: \$600,000 to \$4 million

Average value of homesites: \$500,000

Target buyers: Second home buyers

Role: Developer/Marketing/Lending

Financing: Provided to qualified purchasers by developer

Total built-out value of community: \$40 million

Project in final stages of marketing.

Sweetwater Pointe



Development Profile

Project: Sweetwater Pointe

Location: Central Florida

Size: 100-acre master planned community

Product type: Estate single-family

Unit types: Estate residences

Density: 60 single-family homes

Residential lots range from one to five acres

Residences range from 2,000 gsf to 4,000 gsf

Value of homes range from \$250,000 to \$1,000,000

Community amenities: Waterfront

Target buyers: Professionals

Role: Developer/Builder/Sales and Marketing/Lender

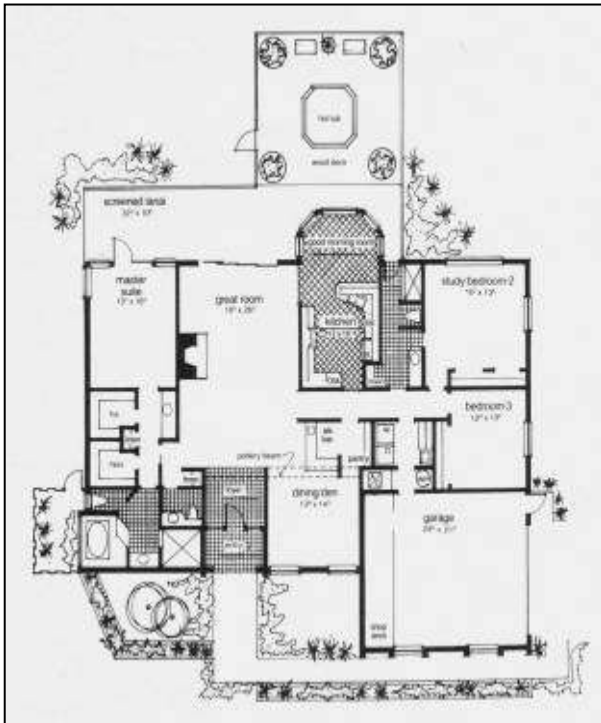
Financing: Provided to qualified purchasers by developer

Total built-out value of community: \$30 million

Project completed and sold out in 2000

The development was originally planned for 600 units and then modified by developer to adjust to market conditions.

Seven Lakes



Development Profile

Project: Seven Lakes

Location: Central Florida

Size: 300-acre master-planned community

Product type: 340 home sites and single-family residences

Residential lots range from 1/2 acre to one acre

Single-family homes range from 1,200 gsf to 4,000 gsf

Value of homes range from \$175,000 to \$450,000

Target buyers: Primary residences

Project developed in four phases, including exclusive enclaves of Sawgrass and Baymeadows

Role: Developer/Builder/Sales and Marketing

Total built-out value of community: \$80 million

Project completed and sold out in 2004.



Point O' Woods



Development Profile

Project: Point O' Woods

Location: Central Florida

Size: 270-acre master-planned community

Product type: Single-family and multi-family residences

Unit Types: Zero lot lines, duplex villas, fourplex townhomes, and single-family

Density: 462 single-family homes, patio homes, villa homes and townhomes

Residential lots range from 5,000 sf to 14,000 sf

Residences range from 900 gsf to 2,200 gsf

Value of homes range from \$100,000 to \$195,000

Community amenities: Golf course, marina, nature trails, biking paths, country club, pool and cabana

Target buyers: Senior Active Residences.

Project developed in four phases incorporating The Moorings, Southgate and Village Green

Role: Developer/Builder/Sales and Marketing/Road Contractor/Utility Contractor/Golf Course Developer-Owner-Operator/Lender

Financing: Provided to qualified purchasers by developer

Total built-out value of community: \$64 million

Project completed and sold out in 1994.





East⊕West



FirstPublic Trust

Suffolk County, New York – Residential



Development Profile

Project: Various residential
Location: Suffolk County, Long Island, New York in the cities of West Islip, Bay Shore, Brightwaters, Islip, and Fire Island



Size: 250 units
Product type: Single-family residences and apartments
Residential lots range from 1/2 acre to one acre



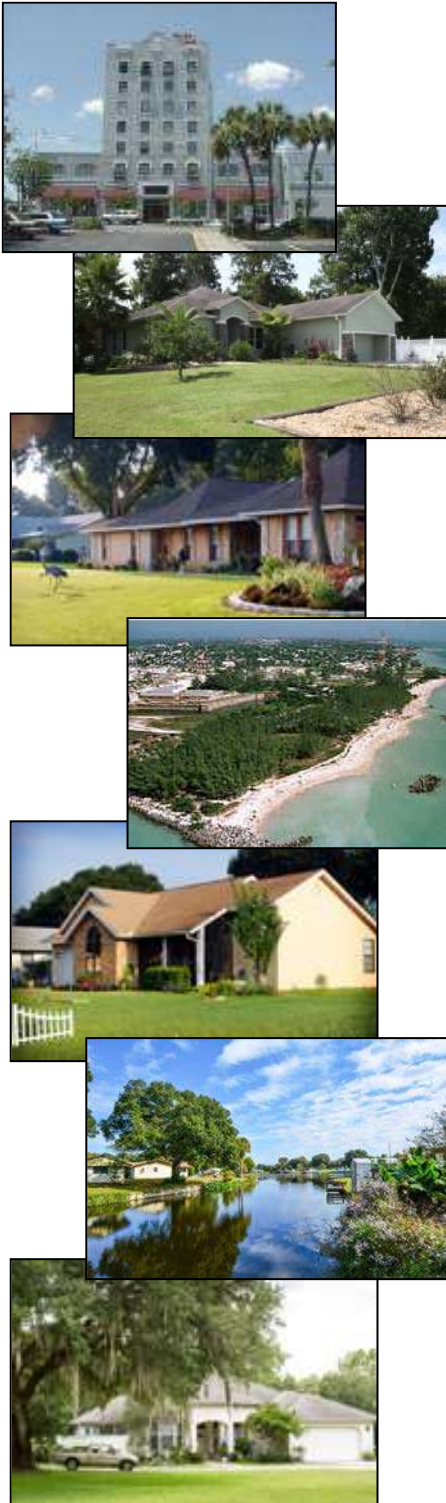
Single-family homes range from 2,500 gsf to 4,000 gsf
Value of homes range from \$750,000 to \$1,200,000



Target buyers: Primary residences
Role: Developer/Builder/Sales and Marketing



Florida Gulf Coast



Development Profile

Greater Tampa Bay Region

Involved in various land acquisitions, land development, and building operations, highway construction, real estate brokerage and marketing, homebuilding, and concrete plant operations.

Gowers Corner

This 24-acre residential development of single-family houses is located north of the Tampa Bay area. Commercial retail property was developed for service-oriented retail. Role was developer/investor/sales and marketing, as well as lender providing financing to qualified purchasers. Sold out in 1965.

Lake Tsala Gardens

Developed 170 single and multifamily residences on 60 acres on Florida's Nature Coast. Waterfront homes averaged 1,000 gsf. Created canals and lakes connecting to 20-mile chain of environmentally sound series of lakes through three cities, and built bridges over waterways. Sold out in 1970.

Gainesville

Acquired 680 acres in Gulf Coast of Florida for agricultural development. Designed for 5 acres country estates and ranches for 120 "gentlemen farmers" near Gainesville, the home of the University of Florida and a large agricultural educational program and presence. Located near the Suwannee River. Sold in 1985.

Pine Lake

Developed 500 residential homesites averaging 5,000 sf each and built manufactured homes on 80 acres. Internally financed the entire development and provided all financing to first-time homebuyers of primary residences. Role was developer/investor/sales and marketing. Sold out in 2004.

East Cove

Developed 450-unit waterfront residential development on 100 acres consisting of 5,000 sf homesites. Constructed lakes and canals and built and marketed manufactured housing. Internally financed the entire development and provided all financing to homebuyers, vacation buyers and second homebuyers. Role was developer/investor/sales and marketing. Sold out in 1980.

South Hampshire

This former 40-acre country estate on the west coast of Florida was subdivided into one-acre and half-acre lots for single-family homesites. Role was marketing and development consulting/management. Marketed primarily to New England owners seeking primary and secondary retirement homes. Sold out in 1980.

Palm Villas Resort



Development Profile

Project: Palm Villas
Location: Disney World/Orlando
Size: 72,000 gsf
Product type: 54 hotel condominium suites
Rental Rates: \$99 – \$175/night
Purchase Price: \$75,000 - \$125,000
Target Market: Investor Clientele
Role: Developer/Builder/Sales and Marketing/Asset Manager
Project sold in 1992.



Renovation

Masonic Building Historic Renovation



Development Profile

Location: Tampa Bay area

Building History:

- Constructed as Masonic Temple in 1910
- Acquired by in 1960
- Renovated by Southeast Construction Group in 1989
- Sold by in 1992

Size: 60,000 GSF

Tenant History:

- Masonic Temple (1910 – 1940s)
- FPT Travel Company (1960s – 1980s)
- Southeast Construction Group Headquarters (1980s)
- Law Offices (1980s – 2005)
- Restaurants (1992 – 2005)
- County Government Offices (1990s)

Scope of Historic Renovation Work:

- Restoration of original interior brick walls
- Restoration of Masonic Hall
- Creation of dual entrance lobbies

Project was part of a city-sponsored Downtown Urban Redevelopment Program.



East⊕West



Stanley Hall Historic Renovation



Public Entity:

**Armed Forces
Retirement Home**

Use:

Education

Size:

22,000 SF

Location:

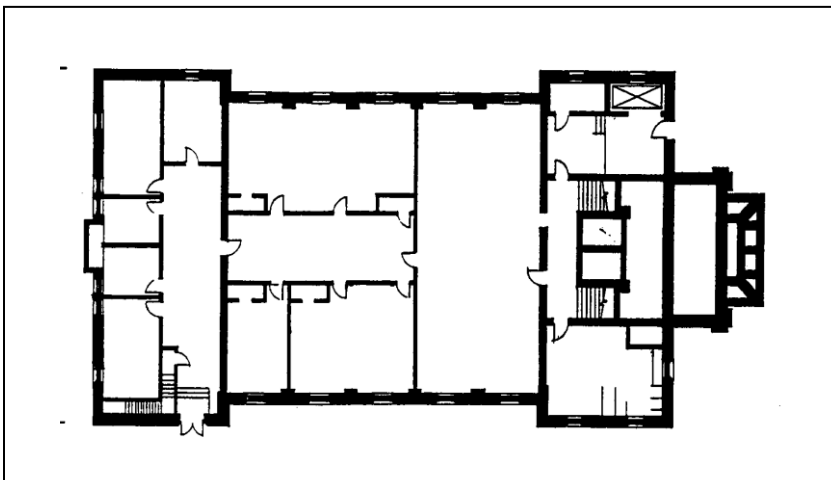
Washington, DC

Estimated Cost:

\$6,600,000

Development Profile:

Stanley Chapel, which dates to the early 1900s, currently serves an inter-denominational house of worship for AFRH-W residents. Available space in this historic building allowed for an incubator charter school program which serves as a model for newly formed charter schools in the District of Columbia seeking quality educational facility space as needed for today's learning environment. The two-story building accommodates 100 students and administrative space, while retaining a shared-use chapel and school meeting area.



Grant Building Historic Renovation



Public Entity:
 Government of the
 United States of America

Use:
 Education

Size:
 180,000 SF

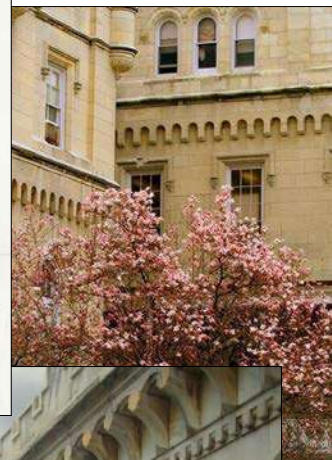
Location:
 Washington, DC

Estimated Cost:
 \$20,000,000

Development Profile:

Begun in 1911, the Grant Building was built as a barracks, mess hall, and recreation center. It has been a dormitory for members of the military who served in the Civil War, World Wars I and II, and the Korean War. In an effort to reduce operating costs for the US Government, this Renaissance-revival stone building was planned to become an educational facility for District of Columbia charter schools. The three-story building, which recently housed Smithsonian Institution artifacts, would accommodate 1,100 students in multi-purpose flexible classrooms. The building will also be engineered to include a library, cafeteria, indoor sports facility, and administrative space.

In addition to saving \$300,000 per year in operating expenses incurred by the federal government, this building was designed to be a model for an educational campus incorporating intergenerational activities.





EastWest



FirstPublic Trust

Forwood-Barnes Building Historic Renovation



Public Entity:
Government of the United States of America

Use:
Education

Size:
100,000 SF

Location:
Washington, DC

Estimated Cost:
\$15,000,000

Development Profile:

Named after Union army medical officer William Henry Forwood, the Forwood Building, built in 1904, houses the United States' oldest medical operating room, which was once used as a training center for medical interns. In conjunction with the adjacent Barnes Building, Forwood was planned to become a phased redevelopment with multi-purpose office and educational uses for the healthcare sector. The development program combined a workforce training allied health sciences educational program and healthcare sector administrative offices in this unique 100,000 GSF medical complex in the District of Columbia.



Sierra Training Academy



Private Entity:
**Sierra Academy of
Aeronautics**

Use:
**Aviation Training Facility,
Student Dormitories**

Location:
Atwater, California

Estimated Cost:
\$15,000,000

Development Profile:

The Sierra Academy of Aeronautics has established a reputation for quality education over a period of 40 years. It has provided contract-training services for more than 50 airlines and major aviation organizations and has helped its students qualify for more than 50,000 Federal Aviation Administration certificates and ratings. Sierra will be expanding its two existing training campuses at Stockton and Livermore. The 11,800-foot runway, which is 300 feet wide, is the fifth longest civilian runway in the state, just behind San Francisco.

Beginning November 2005, the Sierra Academy will be training 250 students from Air China, China Eastern Airlines, and Shanghai Airlines who will go through the academy's 10-month program to earn their FAA certification in preparation for the Beijing 2008 Summer Olympics. Three buildings were renovated incorporating dormitory space, an instructional hall, an air cargo hanger and a student cafeteria. The pilots-in-training will fly at least four different types of planes ranging from single-engine, two-seater aircraft to twin-engine, seven-seater jets.





EastWest



State Plaza



Use:
Office
Size:
15,000 SF
Location:
Citrus County, Florida
Estimated Value:
\$1,500,000

Development Profile:

The State Plaza complex was developed in three phases and has been leased by various public and private entities throughout the five-suite complex. The building was renovated in 1986, 2005 and 2018 to meet the requirements of various tenants.

For over thirty years the complex's primary tenant has been the State of Florida. Other tenants have included law firms, direct mail companies, and a telephone company. The complex also includes land that may be developed into a shopping center or a hotel complex in the future.





Savannah Student Housing



Private Entity:
Florida Hotel DevCo

Use:
Student Housing

Size:
80,000 SF

Location:
Savannah, Georgia

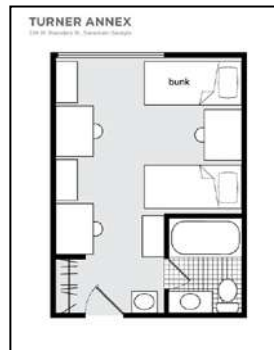
Building Value:
\$2,200,000

Development Profile:

The property was originally renovated while operating as a hotel, remodeled, then subsequently converted to student housing for the Savannah College of Art and Design.

The dormitory is a two-story building that accommodates approximately 215 students in double- and triple-occupancy rooms. It is coeducational by wing. Each room features air conditioning, a bathroom, extra-long twin beds that can be bunked, a cable television outlet, a drafting table, a stool, a dresser/chest of drawers and wireless Internet access for each resident.

ADA accessible, the building features a pool, patio and lawn, pay laundry machines, as well as drink and snack vending machines. Parking is available onsite.





Quality Inn – Disney Maingate South



Private Entity:
Florida Hotel DevCo

Use:
Hotel

Size:
68,000 SF / 154 Rooms

Location:
Davenport, Florida

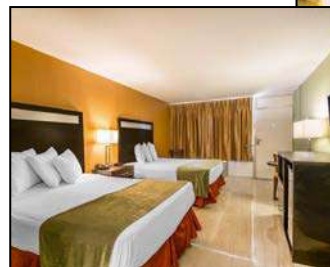
Project Cost:
\$500,000

Development Profile:

Conveniently located off Interstate 4, this Quality Inn in Davenport, Florida offers easy access to many popular attractions and theme parks such as Walt Disney World, SeaWorld Orlando, Legoland, Universal Orlando and Islands of Adventure. The hotel is also near Champions Gate Golf Club, the Heart of Florida Regional Medical Center and Davenport Industrial Park. Amenities include an outdoor pool, meeting space, picnic area, guest laundry facilities and event parking.

All guest rooms are smoke-free and equipped with a 32-inch flat-screen TV and coffee maker, with some rooms featuring a microwave and refrigerator. The nearest airport is Orlando International Airport, 25 miles from the property, and both the Tampa Convention Center and the Orange County Convention Center are just a short drive away.

The project involved renovating the guest rooms of this 154-key central Florida hotel.





Cedar Creek / Cove Creek



Development Profile

Project: **Cedar Creek**

Location: Lake Lure, North Carolina

Size: 340 acres on Blue Ridge Mountain creek

Product type: Second home and vacation
homesite buyers

Planned for 50 parcels in 5- to 10-acre mountain
retreats

Role: Developer/Marketing/Lending

Financing: Provided to qualified purchasers by
developer

Final development and marketing concluded in
2004.

Project: **Cove Creek**

Location: Rutherfordton, North Carolina

Size: 190 acres in mountain setting

Product type: Primary and second homesite
buyers

Planned for 75 parcels of 1- to 5-acres in Blue
Ridge Mountains

Role: Developer/Marketing/Lending

Financing: Provided to qualified purchasers by
developer

Project sold out in 2006





Marion County Affordable Housing



Public Entity:
US Department of Housing and Urban Development

Use:
Residential

Size:
4,000 SF

Location:
Dunnellon, Florida

Project Cost:
\$100,000

Development Profile:

The U.S. Department of Housing and Urban Development (HUD) administers Federal aid to local housing agencies that manage housing for low-income residents at rents they can afford.

The Marion County Housing Authority, located in central Florida, awarded a contract to renovate multi-family rental property, with the objective of providing decent and safe rental housing for eligible low-income families, the elderly, and persons with disabilities.

Renovations included interior and exterior work encompassing carpentry, plumbing, masonry, electrical, insulation and roofing.





Residential/Office Historic Renovation



Private Entity:
Starwood Capital

Use:
Office and Residential

Location:
Washington, DC Metro



Development Profile:

Approximately 30,000 sf of residential and commercial buildings were renovated preserving the historic nature of each structure. Originally built in the 19th century, most structures were eligible for listing on the National Register of Historic Places. Renovation activities including carpentry, roofing, painting, plumbing, environmental remediation, plastering, painting, and landscaping. A financing commitment was executed with Starwood Capital for an expanded re-development project.



Manufacturer-Blue Ridge Log Cabins

Q&A (cont.)



Do the porches and decks come with the log home?

We can build any size deck or covered porch that you want with your home, out of pine or composite materials. Each homeowner's property slope and personal needs are different, so we price it separately based only on materials and labor, no profit is added!

What is the energy efficiency of a Blue Ridge Log Cabin?

Our cabins are on average 20% more energy efficient than standard stick-built homes. The department of energy developed software to calculate the energy efficiency of a home using the thermal envelope (exterior shell of the home). This software takes into account for the thermal mass properties of solid logs.

What type of wood do we use for our logs?

We use eastern white pine for our log cabins because of all wood species it has the highest insulating value based on its cell structure. This distinctive feature benefits you by making a nice tight log structure, keeping your utility bills much lower and improving your indoor air quality. Eastern white pine is also a renew able and sustainable resource that grows quickly right here in the Carolinas' & Virginia!



Tom Roe
Custom Log Home Expert

(864) 457-7622
mobile: (813) 220-3204
troe@blueridgelogcabins.com

Still have questions?

Let me help.

Please don't leave with an unanswered question. I am here to help you realize your log home dream.



Welcome to Blue Ridge Log Cabins. We have been building log home dreams for over 25 years! Today you will experience a presentation of five fully decorated model homes. Each home features a unique design with careful planning to help you enjoy the log home lifestyle.

So relax, take your time and enjoy your visit, but most importantly get all of your questions answered.



625 East Frontage Road • Campobello, SC 29322 • 1-888-563-3275
BlueRidgeLogCabins.com



HOME TOUR



JOCASSEE 5

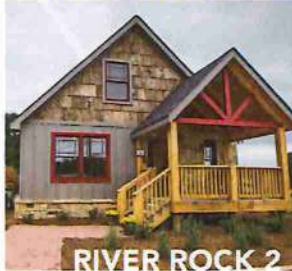


HIGHLANDS 1



BLOWING ROCK 2

Enter through the majestic **Jocassee 5** model. Take the back deck to the left to the **Highlands 1**; built 17 years ago and toured by over 400,000 visitors. Then, take the deck over to the **Blowing Rock 2**, our most popular design. Exit back out the Jocassee and stroll over to the cozy **River Rock 2** cabin. It features our Mountain Architecture option. Finally, finish up at our **Luxe 1** contemporary log home.



RIVER ROCK 2



LUXE 1

Q&A

What is the square foot cost?

We have a lot of different models and as a custom builder each cabin is unique. Our square foot costs can range from \$100 to over \$200 based on choices you make and how far the property is from our plant. A lot of standard features come with our cabins that would be an expensive upgrade with other site builders.

Do you sell kits or shells?

NO. We do it very differently here, we build beautiful, solid log homes that leave our factory with your electrical, plumbing, appliances, cabinetry, and fixtures already installed. We construct each home in a climate-controlled environment and deliver it to your prepared site and set it on your foundation, in as little as one day! We don't drop off a pile of wood on your muddy lot and drive a way. Our process makes it possible for your family to be moving into to your completed log home in the shortest time possible.

Do basements come with the home?

Our log homes must be built on a crawl space or basement, they can't be built on a slab. We will work with your local general contractor (GC) who will prepare the foundation before we set the house.

What about metal roofs, can you do that?

We use a very high grade Owens Corning architectural shingle with a lifetime warranty but if you prefer a metal roof, we will install a special titanium waterproof barrier that will protect your home until your GC can install that roof for you.

Can we make floor plan changes?

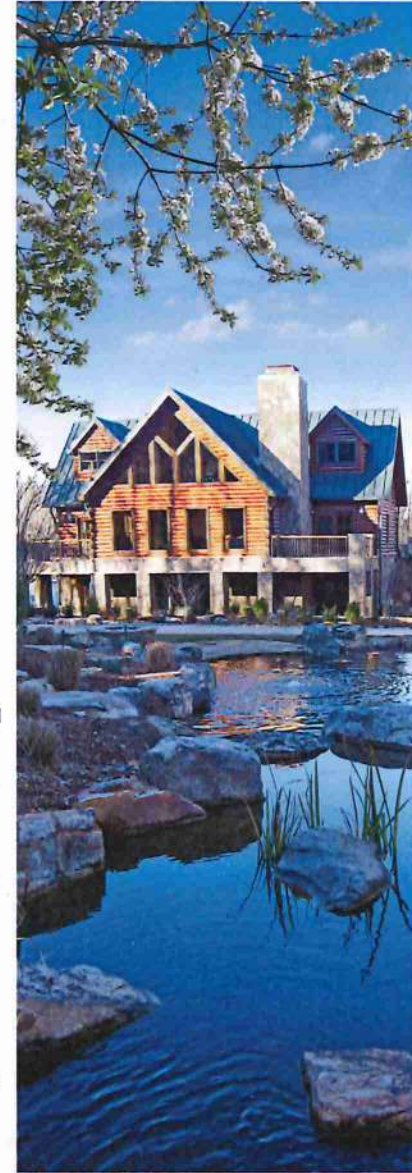
Absolutely. As a custom log home builder, every home is unique and different, we've never built the same home twice. We'll start with a model that meets most of your design goals, and then modify it as needed. We can also work completely off your unique sketch within our manufacturing parameters.

Does blue ridge provide financing?

We have a professional mortgage expert on our staff that can assist you with various financing options and do a lot of the leg work for you. The banks we work with everyday offer our clients very special programs that are not available to the general public.

What is the exterior maintenance of a Blue Ridge Log Cabin?

Blue Ridge Log Cabins have very little exterior maintenance. Once the initial stain and sealer are installed, you will only reseal every 3 - 8 years as needed. Once a year we recommend mixing "log wash" with a little water in a garden sprayer, mist the logs to loosen pollen and dust and, simply spray it off with a garden hose, not a pressure washer.



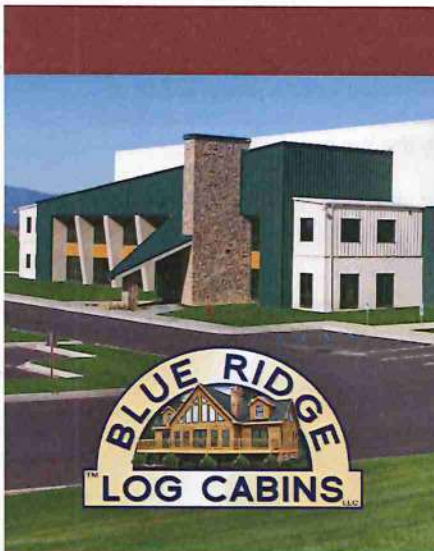
FAST FACTS

Founded in 1992, **Blue Ridge Log Cabins (BRLC)** is widely considered the most innovative company of its kind in America. Blue Ridge Log Cabins is the only solid-log home builder in the world using our proprietary modular building techniques inside a climate-controlled 110,000 sqft facility!

HGTV has featured BRLC as the "Most Economical Log Home" and in their "Best Ever Log Homes" and "Amazing Log Homes" series and we have been on **DIY's "Breakneck Builds"**. BRLC was also featured in **ABC's** 2011 Season Premiere of "Extreme Makeover: Home Edition" as we built a large multi-family home for homeless female veterans at Ft. Bragg, NC.

BRLC was selected by the **US Dept. of Energy** to build their convention center in Oak Ridge, TN. Then, the **Tryon International Equestrian Center** in NC selected BRLC to design and build their entire log home village and their large conference center as part of their multi-million dollar development.

BRLC currently delivers cabins to 32 states.



BUILDING TRADITION. DELIVERING INNOVATION.





- **Founded in 1992**
- **Company was created to develop a new way to build log cabins**
- **Modular construction using solid logs**
- **Transitioned into stick framed construction with our Mountain Architecture Series**
- **Now we have something for every architectural style and budget**

“the truth”

best *value*

by  & 

best *builder*

by HOME BUILDER DIGEST

same *price*

LOG HOMES AT STICK FRAME PRICING

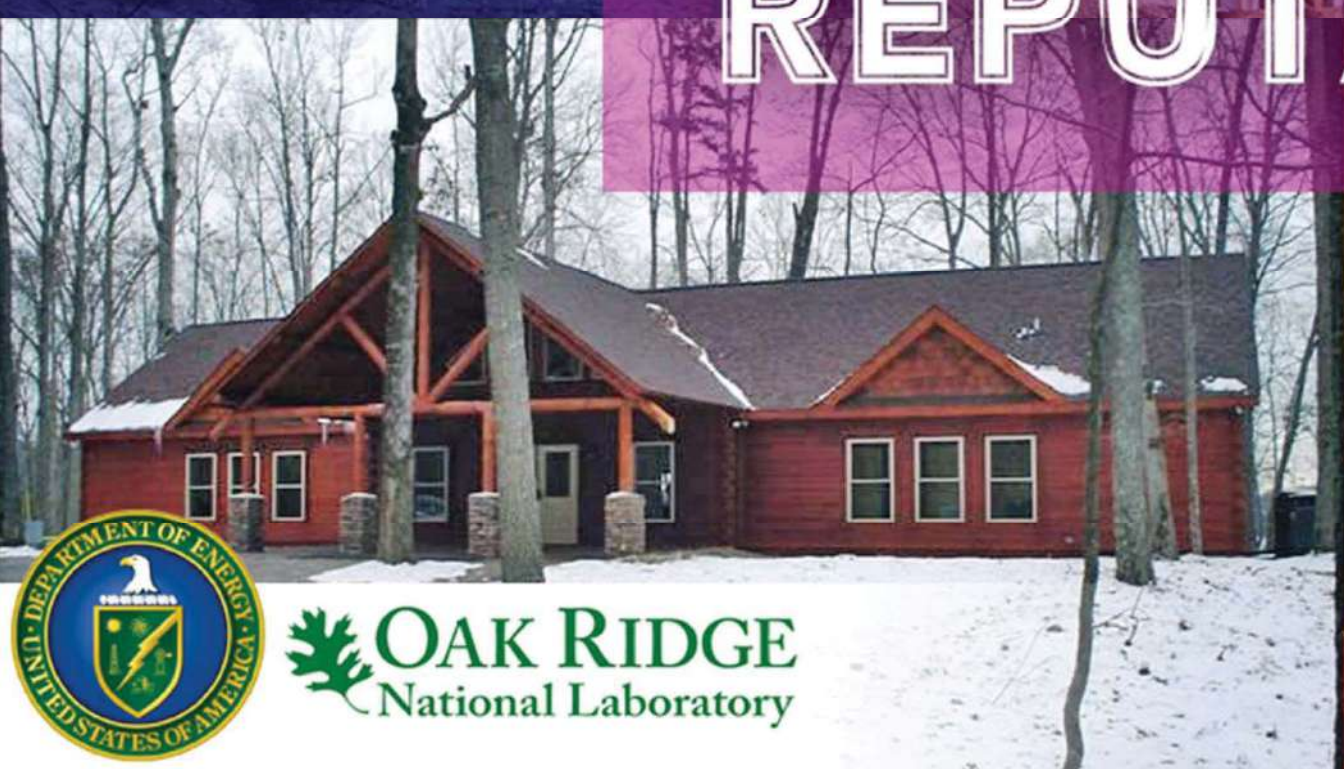


Amazing Log Homes



EXTREME MAKEOVER Home Edition

REPUTATION



OAK RIDGE National Laboratory



BEST EVER LOG HOMES

DEVILS TOWER
WYOMING

NIAGARA FALLS
HARTLAND, NY

THE DREAM REALIZED



SUMMERHAVEN
ARIZONA

EDISTO BEACH
SOUTH CAROLINA

8:00AM

12:00PM



SIMPLY A BETTER WAY TIMELINE



6:00PM THE SAME DAY



IT NEVER RAINS
INSIDE OUR FACTORY



PORTFOLIO













































SoWE

***MOUNTAIN JEWEL SCHOOL OF
WHOLENESS AND ENLIGHTENMENT***



THEIR GOALS

- ***BUILD A WORLD CLASS FACILITY***
- ***REDUCED IMPACT ON THE NATURAL SURROUNDINGS***
- ***HIGH QUALITY STANDARD***
- ***RAPID BUILD TIME***

ZERO CARBON FACILITY

SOLAR POWER, GEOTHERMAL HEATING, SUSTAINABLE GARDENING, ETC.



Ken Semler
President

Ken Semler was asked...

What are modular Homes?

His answer...

"Modular refers to a construction process, not a type of home. Think of modular construction like the hybrid car of the home-building industry! One big bonus of modular construction is that we can deliver a new, move-in ready home in up to 50% less time than traditional site-built construction."



Cliffs Community Association at Glassy, Inc.

*23 Raptor Way
Landrum, SC 29356*

*Phone (864) 895-2829
Fax (864) 895-2897*

March 16, 2009

Subject: Modular Construction

Dear Cliffs at Glassy Property Owner:

Last September, the Architectural Review Committee temporarily suspended approval of modular construction methods due to residents' concerns about how this might impact our community. Since that time we have learned a great deal about modular construction versus manufactured housing.

A manufactured unit is a structure built on a permanent chassis and is designed to be used without a permanent foundation. **Manufactured housing does not conform to the standards of our community and will not be permitted.**

Modular or systems built construction includes components built and assembled in a factory, transported to the site and placed on a foundation. This method has been used to some degree in almost all homes on Glassy, including preassembled roof rafters, flooring systems, door and window units.

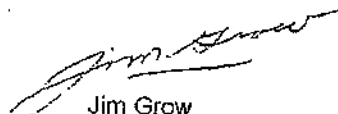
The POA has approved changes proposed by the ARC to the current Design Guidelines (which did not cover this situation) that will **continue to allow systems built construction processes provided they meet the following standards:**

- 1) The resulting home construction must conform to architectural and aesthetic requirements as detailed in the Design Guidelines.
- 2) Transportation of all oversized construction materials must be pre-approved, scheduled and controlled within times designated by the Mountain Administrator in coordination with the Glassy Security Staff.

Revisions to the Design Guidelines were made after a review of modular/systems build methodology for home construction was completed. Highlights of this review include:

- 1) An independent Civil Engineering firm completed a comprehensive review of the home on Golden Eye Court analyzing construction methods, quality of the materials and craftsmanship. Their report concluded the home is constructed to a quality level equal to a traditional "stick build" home. A summary of this report is available for review at the MAC Center office of the Mountain Administrator.
- 2) The ARC studied construction industry trends and concluded this method offers many benefits, and it would not be in the best interest of Glassy Property Owners to totally ban this type of construction.

The ARC will continue to evaluate all proposed home construction projects with the goal of maintaining the architectural standards, enhancing the aesthetic beauty of our community and protecting property values of all our homes at the Cliffs at Glassy.


Jim Grow
POA President


Jim Solberg
ARC Chairman



*The Cliffs
at Glassy*

Waterfront Group

Mark Adkins

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Suite 210
Huntersville, NC 28078
Office: (704) 896-5880
Direct: (704) 237-9375
Fax: (704) 896-2922
Mobile: (704) 906-3739

Wayne Roberts

From: Mark Adkins
Sent: Wednesday, April 25, 2012 6:43 PM
To: Wayne Roberts; Freddie Jones
Cc: Hugh Franklin
Subject: Mountain Brook letter

Dear Mountain Property Owner(s)

I am writing you today as the developer of Mountain Brook to voice my concern about an upcoming vote that would eliminate a lot owners right build a Blue Ridge Log Home on their lot. It would be a major mistake to do so. I can personally vouch for this company and the many benefits that they offer a customer looking for a log home. They are the only systems built home that we have ever allowed in any of our subdivisions. That is also true for other developers due to their reputation for quality.

It was our desire when we wrote our protective covenants to allow our customers to enjoy the benefits of dealing with Blue Ridge Log Homes. Those benefits are:

- 1) Speed in which the home can be built and the owner(s) enjoying it.
- 2) Quality of the product.
- 3) Cuts number of subcontractors to a minimum.
- 4) The house does not experience being exposed to the elements during construction.
- 4) Property owners do not have to experience months of subcontractors coming in and out of subdivision.
- 5) Lot owners do not have to be at their job site overseeing hired contractors.
- 6) Ease in which a lot owner can fulfill their desire to build.

As many of you may know, BLRH has built numerous homes in Mountain Brook already and the consensus of everyone I know loves their product. One of the biggest problem that we as developers and you as lot owners encounter is the effect of outside contractors entering the property at their leisure and taxing the infrastructure. Some larger homes take a year or more to build which means contractors being the major traffic on the roads during home construction and contractors are usually the genesis of problems involving the gates and roads.

I personally feel that it would be a major mistake to eliminate a lot owners ability to take advantage of the benefits of owning a Blue Ridge Log Home and if I still had the ability to vote this would not happen. It makes no sense to do it and the only reason that I can see it may benefit someone financially. The reason we allowed BRLH in Mountain Brook in the first place was to allow our lot buyers the opportunity and access to this product. This resolution should not be allowed to pass. I am available to discuss this personally with any lot owner that would like to discuss this further. My email and cell phone number are below. Thank you.

Mark Adkins







BLUERIDGE LOG CABINS

Building Custom Homes Since 1992



*Blowing Rock 4
Custom Home of the Someillan's*

625 East Frontage Road, Campobello, SC 29322 1-888-563-3275 www.BlueRidgeLogCabins.com



**Limited Lifetime Warranty on all materials
manufactured by
Blue Ridge Log Cabins**

Top Quality Exterior Log Walls

Quality assurance provided per the Timber Products Inspection Grading Rules
Kiln dried to sterilize the logs, crystallize sap, and reduce the effects of shrinkage
Closed cell foam tape installed as gasket between log courses
Wood dowel pins to seal vertical butt joints
Tempered and coated Log Hog fasteners self-countersink without pre-drilling

Interior Wall System

2x4 wall framing 16" on center
1x12 tongue and groove Eastern White Pine wallboard
1x8 tongue and groove Eastern White Pine ceiling board
1x4 pine base trim and 1x2 pine ceiling trim

Interior Doors

Knotty pine arched v-groove doors
Kwikset lever action locksets

Exterior Doors

Therma-Tru 3068 fiberglass 9-lite entrance doors
6068 premier vinyl sliding glass door, Low E glass, DP50, with screen
Therma-Tru 6068 center hinge fiberglass patio door
Kwikset deadbolt handle sets installed on all 3068 doors
Kwikset deadbolt locks installed on all 6068 center hinge doors

Top Quality Windows

Vinyl double-hung tan dp-50 window
Lifetime transferable limited warranty
Windows available with grids between glass or no grids
Full mesh screen with each operable window

Kitchens

Custom built and installed cabinets constructed of solid eastern white pine
Granite countertops
General electric appliances including:
25 CF refrigerator with water and ice dispenser
30 inch radiant range glass top
Under counter dishwasher
Microwave installed over range
Under mount sink with delta single lever faucet
GE garbage disposal



Bathrooms
Custom built and installed white pine vanity cabinet
Cultured marble vanity top
50 gallon electric water heater
Elongated commodes
Eljer whirlpool tubs
Aker fiberglass tubs and showers
Peerless faucets
Custom build solid wood medicine cabinet

Floor Materials
Manufactured open-joint floor joists; 16" on center
5/8 OSB sub-floor decking
1x6 yellow pine flooring

Roof Materials
5/8 OSB roof decking
30 lb. felt paper
Owens Corning Duration architectural shingles

Plumbing Materials
Pex and/or PVC approved materials
Two exterior hose bibs

Electrical Materials
200 amp load center with breakers
All electrical wiring to code
Four exterior flood lights
One coach light per exterior door
Two exterior GFI receptacles
All interior light fixtures and/or ceiling fans installed

Designed with State-of-the-Art Software
Each home plan is drawn to comply with specific building codes for the ship to address
Complete set of sealed, engineered plans provided
with each home

Careful Transportation and Delivery

Insured Subcontractors



BLOWING ROCK SPECS.
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REVISIONS	NAME:	X	X	X	X	X	X	X	X
	DATE:	X	X	X	X	X	X	X	X
		X	X	X	X	X	X	X	X
		X	X	X	X	X	X	X	X
		X	X	X	X	X	X	X	X
		X	X	X	X	X	X	X	X

1ST FLOOR SPECIFICATIONS

PRELIMINARY # **XX-XXX-X**

PLAN # **XXXX**

SERIAL # **XXXXX**

SCALE
3/16" = 1'

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ELEVATION DRAWINGS ARE FOR ILLUSTRATION ONLY.
SEE FLOOR PLAN AND SALES CONTRACT FOR SPECIFIC DETAILS

PORCHES (INCLUDING PORCH ROOFS, DECKS, AND STEPS) NOTE: PORCHES ARE OPTIONAL. THE OWNER MAY VARY THE PORCHES FROM THOSE ILLUSTRATED HERE. PORCHES ARE DESIGNED AND BUILT BY OTHERS IN ACCORDANCE WITH STATE AND LOCAL CODES AND ARE SUBJECT TO INSPECTIONS TO CODE BY LOCAL OFFICIALS.

DORMERS AND SHIPLOOSE GABLE END WALLS ARE FINISHED W/ AN APPROVED WATER BARRIER AND LOG SIDING THAT IS LAPPED IN ACCORDANCE TO THE BUILDING CODES.

SHINGLE LABEL

UL LISTED PREPARED ROOFING MATERIALS
DEGREE OF RESISTANCE TO EXTERNAL FIRE AND FLAMMABILITY LIMITS
IN ACCORDANCE WITH UL STANDARD 790
WIND RESISTANCE ALSO CLASSIFIED
IN ACCORDANCE WITH ASTM D3161, CLASS F
WHEN APPLIED IN ACCORDANCE WITH INSTRUCTIONS INCLUDED WITH THIS ROOFING

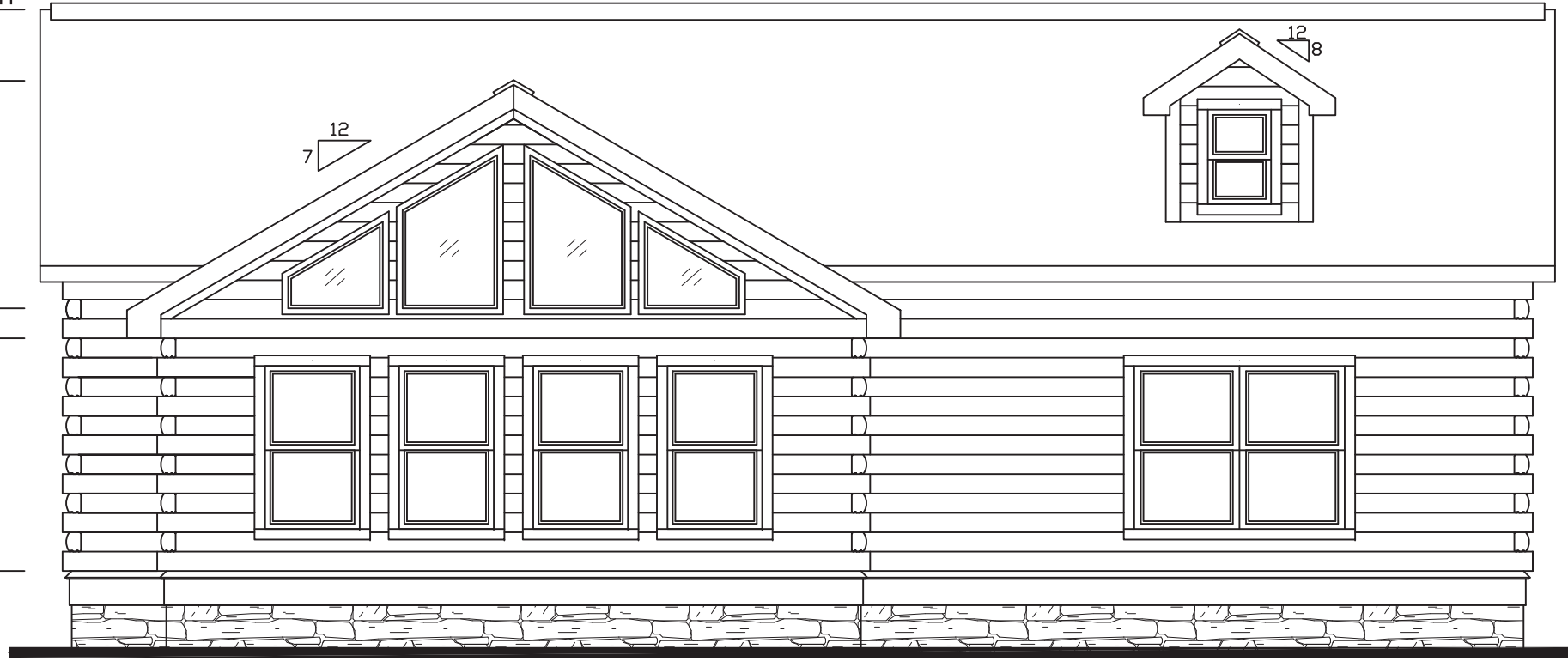
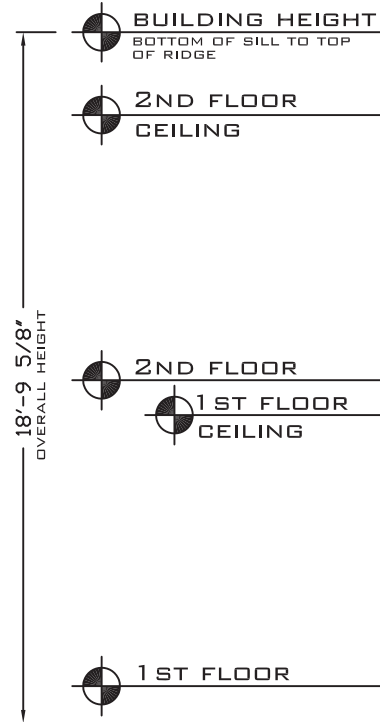
R-2453 ISSUE M-46,645

ASTM D 3462

RIDGE VENT - LAMANC PRODUCT # LOR30
SOFFIT VENT - FLAMCO # VENT164BE4X16

ROOF VENTILATION FOR BOX A:
AREA = 613 SQ. FT.
613 / 300 = 2.04 SQ. FT. (294 SQ. IN.) 147.12 SOFFIT 147.12 ROOF
SOFFIT 7 TRUSS SPACES X 22.5 = 157.5 SQ. IN.
ROOF 46' OF ROLL VENT X 11 SQ. IN./VENT= 506 SQ. IN.

ROOF VENTILATION FOR BOX B:
AREA = 586 SQ. FT.
586 / 300 = 1.95 SQ. FT. (281 SQ. IN.) 140.64 SOFFIT 140.64 ROOF
SOFFIT 7 TRUSS SPACES X 22.5 = 157.5 SQ. IN.
ROOF 44' OF ROLL VENT X 11 SQ. IN./VENT= 484 SQ. IN.



FRONT ELEVATION
SCALE: 3/16" = 1' 1'-0" 5'-0"

NOTE: FOUNDATION CONSTRUCTION MUST BE IN ACCORDANCE TO STATE AND LOCAL BUILDING CODES AND IS THE SOLE RESPONSIBILITY OF GENERAL CONTRACTOR/OWNER. FOUNDATION HERE IS FOR ILLUSTRATION PURPOSES ONLY. EXTERIOR FINISHES TO BE DETERMINE AND SUPPLIED ON SITE BY OWNER



REAR ELEVATION
SCALE: 3/32" = 1' 1'-0" 3'-0"



LEFT SIDE ELEVATION
SCALE: 3/32" = 1' 1'-0" 3'-0"



RIGHT SIDE ELEVATION
SCALE: 3/32" = 1' 1'-0" 3'-0"

CUSTOMER NAME



BLOWING ROCK IV
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REVISIONS	DATE:	NAME:
	X	X
	X	X
	X	X
	X	X
	X	X
	X	X
	X	X
	X	X
	X	X
	X	X

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CRAWL ELEVATION

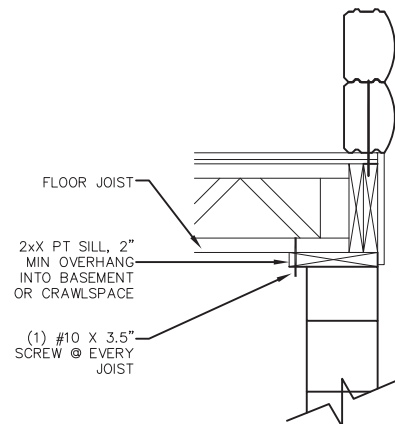
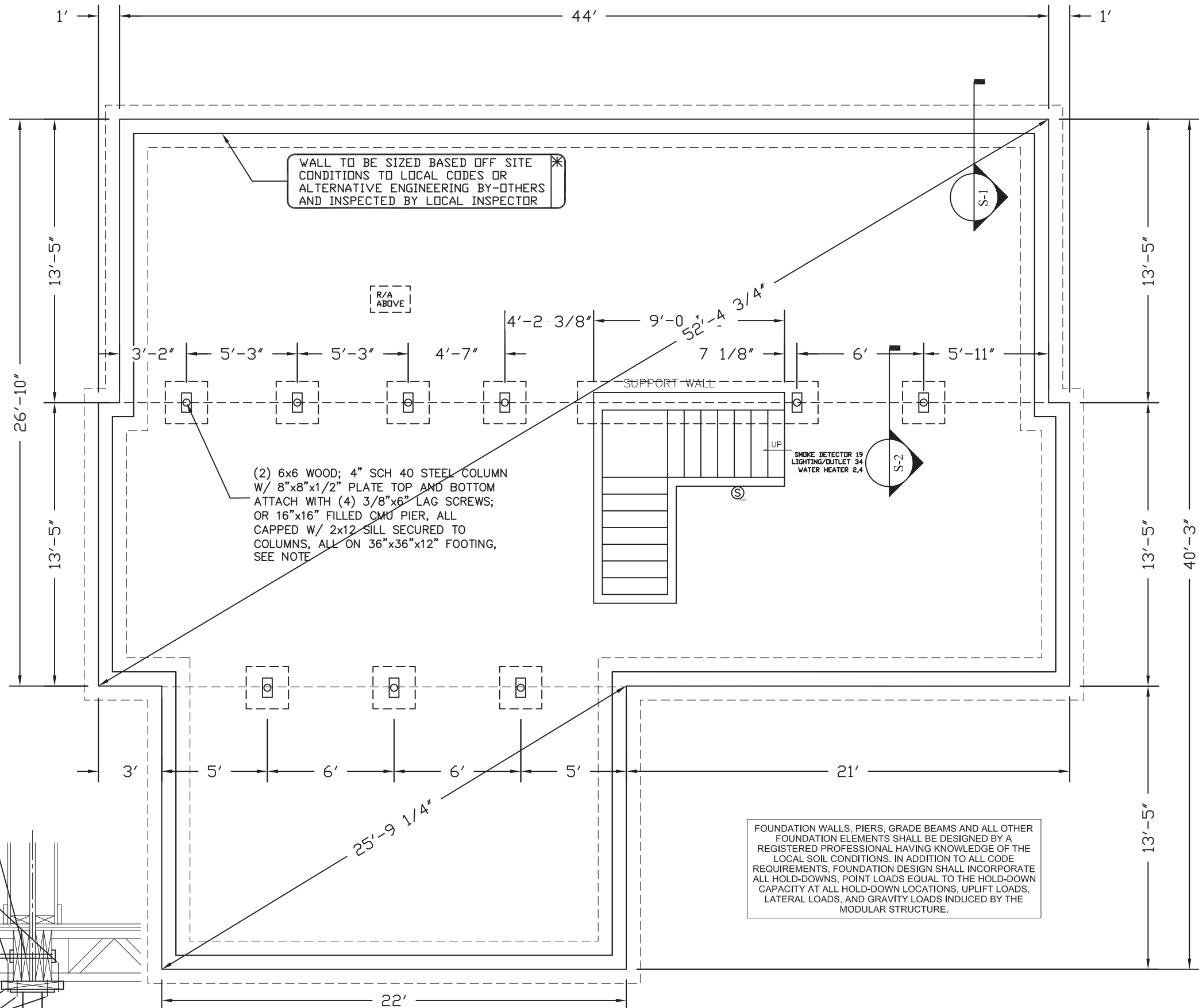
PRELIMINARY #
0X-00X
PLAN #
XXXX
SERIAL #
XXXXX
SCALE
3/16" = 1'
1'-0" 5'-0"

FOUNDATION

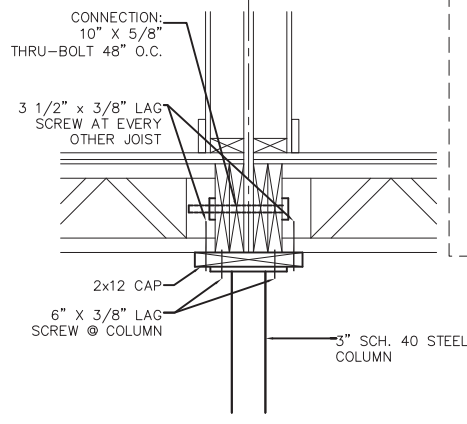
FOR DIMENSIONAL PURPOSES ONLY AND MUST BE DESIGNED FOR SPECIFIC SITE CONDITIONS BY OTHERS.

NOTES:

- FOUNDATION AND ITS STRUCTURAL ELEMENTS SHALL BE CAPABLE OF ACCOMMODATING ALL SUPERIMPOSED LIVE, DEAD, AND OTHER LOADS IN ACCORDANCE WITH CODES AND ALL LATERAL LOADS IN ACCORDANCE WITH ACCEPTED DESIGN PRACTICES.
- LOTS SHALL BE PROVIDED WITH ADEQUATE DRAINAGE AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS-BY LOT OWNER.
- MATERIALS SHALL CONFORM WITH APPLICABLE STANDARDS AND CODE.
- CONCRETE SUBJECT TO WEATHERING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AND AIR CONTENT IN ACCORDANCE WITH CODE. 2500 PSI MINIMUM.
- ALL EXTERIOR WALLS, BEARING WALLS, COLUMNS, AND PIERS SHALL BE SUPPORTED ON CONTINUOUS SOLID MASONRY OR CONCRETE FOOTINGS WHICH SHALL BE OF SUFFICIENT DESIGN TO SUPPORT SAFELY THE LOADS IMPOSED AS DETERMINED FROM THE CHARACTER OF THE SOIL, AND SHALL IN ALL CASES EXTEND BELOW THE FROST LINE. TOP SURFACE SHALL BE LEVEL AND BOTTOM NOT EXCEEDING 1 IN 10 SLOPE. FOOTINGS SHALL BE NOT LESS THAN SHOWN ON THE DRAWINGS.
- FOUNDATIONS SHALL EXTEND NOT LESS THAN 12 INCHES BELOW THE FINISHED NATURAL GRADE OR ENGINEERED FILL AND IN NO CASE LESS THAN THE FROST LINE DEPTH. FOOTING ON SOIL WITH A LOWER ALLOWABLE SOIL PRESSURE SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. MIN. SOIL BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F. HOWEVER, WHERE THERE IS EVIDENCE THAT THE GROUNDWATER TABLE CAN RISE TO WITHIN 6 INCHES OF THE FINISHED GRADE AT THE BUILDING PERIMETER OR WHERE THERE IS EVIDENCE THAT SURFACE WATER DOES NOT READILY DRAIN FROM THE BUILDING SITE, THE BUILDING OFFICIAL MAY REQUIRE THAT THE GRADE IN THE UNDER-FLOOR SPACE BE AS HIGH AS THE OUTSIDE FINISHED GRADE, UNLESS AN APPROVED DRAINAGE SYSTEM IS PROVIDED. TERMITE SHIELDS AND/OR PROTECTION SHALL BE PROVIDED AS PER CODE.
- CRAWL SPACE AND ACCESS SPACE SHALL BE VENTILATED BY OPENINGS IN THE FOUNDATION WALLS. THE AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN ONE (1) SQ. FT. PER 150 SQ. FT. OF CRAWL SPACE AREA. ONE OPENING SHALL BE WITHIN 3 FT. OF EACH CORNER OF THE BUILDING. USE PLASTIC OR EQUAL 8" X 16" VENTS WITH CORROSION-RESISTANT WIRE MESH.
- TREATED 2x10 SILL PLATE FLUSH WITH OUTSIDE OF CONCRETE BLOCKS FASTENED WITH BOLTS THROUGH CONCRETE BLOCKS.
- MINIMUM ALLOWABLE SOIL BEARING CAPACITY 2,000 PSF.
- MORTAR TYPE S.
- CUSTOMER TO PROVIDE STRAW AROUND FOUNDATION FOR SET CREW IN CASE OF MUD. BRLC OR SET CREW IS NOT RESPONSIBLE FOR MUD OR DIRT TRACKED INTO HOUSE.



S-1 DETAIL AT FOUNDATION WALL

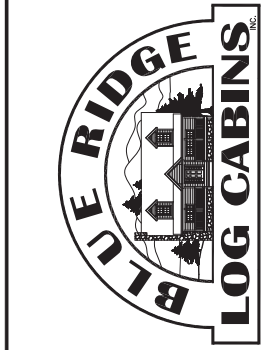


S-2 DETAIL AT MARRIAGE WALL

NOTE: FOUNDATION CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MUST MEET ALL STATE AND LOCAL CODES. NOTE: FOOTINGS TO BE SIZED TO CODE BY G.C. TO SITE AND LOADING CONDITIONS AND INSPECTED ON-SITE BY THE LOCAL INSPECTOR SUBJECT TO LOCAL INSPECTIONS: FOUNDATION FINISHED ON-SITE. FOUNDATION ELECTRICAL FINISHED ON-SITE. FOUNDATION PLUMBING FINISHED ON-SITE.

FOR BASEMENT: OWNER TO PROVIDE ONE 36" WIDE BY 80" HIGH DOOR MINIMUM TO EXTERIOR. PLACEMENT IS DETERMINED BY OWNER AND GRADE CONDITIONS. DOOR AND WINDOW OPENINGS TO BE VERIFIED BY CONTRACTOR TO BE PROPER SIZE AND PLACEMENT

WATER HEATER INSTALLED IN BASEMENT ON-SITE BY OTHERS. INSPECTED BY LOCAL OFFICIALS.



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REVISIONS	DATE	NAME
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X

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1ST FLOOR - BASEMENT FOUNDATION

PRELIMINARY # **0X-00X**

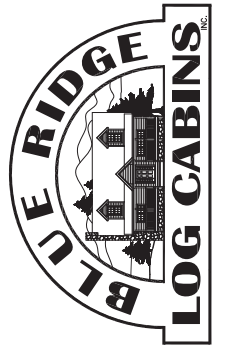
PLAN # **XXXX**

SERIAL # **XXXXX**

SCALE **3/16" = 1'**

1'-0" 5'-0"

CUSTOMER NAME



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WEST WINDOW SCHEDULE DP-50 LOW-E DOUBLE HUNG

EGRESS	DESCRIPTION	ROUGH OPENING	LIGHT	VENT
NO	1852	20"x62"	3.12	2.30
NO	2030	24"x36"	3.09	1.26
NO	2030-2	48"x36"	7.09	2.25
NO	20310	24"x46"	5.19	2.37
NO	2040	24"x48"	5.14	2.49
NO	2046	24"x54"	6.19	2.90
NO	2052	24"x62"	7.22	3.44
NO	2052-2	48"x62"	14.44	6.88
NO	24" OCTAGON	24 1/2"x24 1/2"	2.35	-
NO	2640	30"x48"	7.16	3.25
YES	2845 CASEMENT	32"x53"	8.39	9.00
NO	2852	32"x62"	10.33	4.84
NO	2852-2	64"x62"	20.66	9.66
NO	3012 TRANSOM	36"x14"	4.55	X
NO	3024-2	72"x28"	11.26	3.26
NO	3030	36"x36"	6.37	2.69
NO	3030-2	72"x36"	12.74	5.38
NO	30310	36"x46"	8.54	3.82
NO	30310-2	72"x46"	17.08	7.64
NO	3040	36"x48"	8.91	4.01
NO	3040-2	72"x48"	17.82	8.02
NO	3046	36"x54"	10.19	4.67
NO	3046-2	72"x54"	20.38	9.34
NO	3052	36"x62"	11.89	5.55
NO	3052-2	72"x62"	23.78	11.1
NO	3052-3	108"x62"	35.67	16.65
YES	3452	40"x62"	14.33	5.88
YES	3452-2	80"x62"	28.66	11.76
YES	3452-3	120"x62"	42.99	17.64
YES	3060 D.H.	36"x72"	14.01	6.84
NO	3060 FIXED	36"x72"	14.01	X
NO	4040	48"x48"	12.41	5.53
NO	4046	48"x54"	14.19	6.44
NO	2652	30"x62"	8.88	4.00

CLEAR OPENING OF 3452 WINDOW MEETS EGRESS REQUIREMENTS
 5.88 SQ.FT.

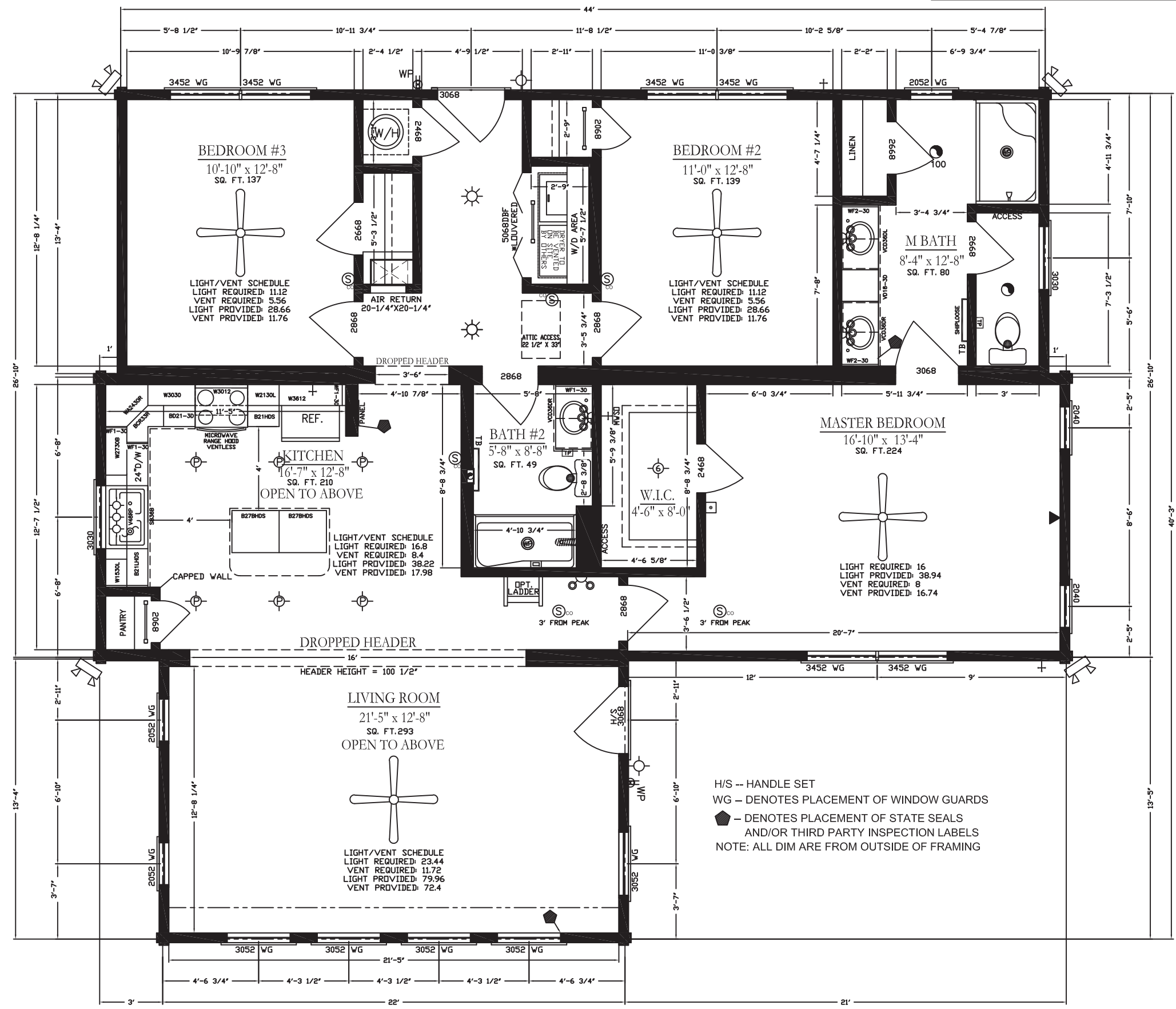
NOTE: WINDOWS SHOWN ON PLAN MAY BE REPLACED BY WINDOWS OF SIMILAR SIZE AND PURPOSE, MEETING SIMILAR LIGHT, VENTILATION, AND EGRESS QUALITIES; AND MEETING OR EXCEEDING THERMAL AND CONSTRUCTION QUALITIES AND MEET REQUIRED CODES.

INTERIOR DOOR SCHEDULE

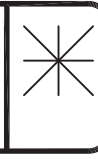
DESCRIPTION	ROUGH OPENING
1668	20" x 82"
2068	26" x 82"
2468	30" x 82"
2668	32" x 82"
2868	34" x 82"
3068	38" x 82"
5068 DBL	62" x 82"
1668BF	20" x 82"
2068BF	26" x 82"
2468BF	30" x 82"
2668BF	32" x 82"
2868BF	34" x 82"
3068BF	38" x 82"
3068DBF	38" x 82"
4068DBF	50" x 82"
5068DBF	62" x 82"
6068DBF	74" x 82"

EXTERIOR DOOR SCHEDULE DP-47

DESCRIPTION	ROUGH OPENING	LIGHT		VENT	THERMATRU OR WEST
		9-LITE	15-LITE		
2868	34 3/8" x 82 1/2"	4.31	8.02	17.33	THERMATRU
3068	38 3/8" x 82 1/2"	4.31	8.02	19.55	THERMATRU
103068	51 13/32" x 82 1/2"	4.31	8.02	19.55	THERMATRU
10301068	64 3/4" x 82 1/2"	4.31	8.02	19.55	THERMATRU
3068 OUT SWING	38 3/8" x 81 1/4"	4.31	8.02	19.55	THERMATRU
FRENCH	75 1/4" x 82 1/2"	16.04		38.76	THERMATRU
FRENCH OUT SWING	75 3/4" x 82 1/8"	16.04		38.76	THERMATRU
ATRIUM	75 5/8" x 82 1/2"	16.04		19.38	THERMATRU
ATRIUM OUT SWING	76" x 82 1/8"	16.04		19.38	THERMATRU
9068 ATRIUM	113 1/4" x 82 1/2"	24.06		19.36	THERMATRU
6068 SGD	72" x 80"	16.04		19.38	WEST
80610 SGD	72" x 84"	16.04		19.38	PLYGEM



NOTE: RETURN AIR GRILLES TO BE SUPPLIED AND INSTALLED BY OWNER OR HVAC CONTRACTOR
 NOTE: HVAC PROVIDED BY OTHERS AT CUSTOMERS REQUEST. TO BE INSTALLED ON-SITE TO LOCAL BUILDING CODES
 NOTE: EXHAUST FANS ARE DUCTED TO OUTSIDE AIR ON-SITE AND WILL NOT BE DUCTED TO ATTIC SPACES, SOFFITS, OR RIDGE VENTS. COMPLETED ON-SITE BY OTHERS AND INSPECTED BY THE LOCAL INSPECTOR TO COMPLY WITH
 NOTE: CHASES AND AIR RETURN CAVITIES ARE PROVIDED FOR INSTALLATION OF AIR RETURN DUCTWORK: CHASES AND/OR AIR RETURN CAVITIES CAN NOT BE USED AS AIR RETURN WITHOUT APPROVED HVAC DUCT MATERIALS. ON-SITE BY OTHERS.



H/S -- HANDLE SET
 WG -- DENOTES PLACEMENT OF WINDOW GUARDS
 ◆ -- DENOTES PLACEMENT OF STATE SEALS AND/OR THIRD PARTY INSPECTION LABELS
 NOTE: ALL DIM ARE FROM OUTSIDE OF FRAMING

Henry & Diane Someillan

1ST FLOOR - CRAWL FLOOR PLAN

PRELIMINARY #
0X-00X
 PLAN #
XXXX
 SERIAL #
XXXXX
 SCALE
 3/16" = 1'
 1'-0" 5'-0"

REVISIONS	DATE:	NAME:	X	X	X	X	X	X	X
			X	X	X	X	X	X	X

WEST WINDOW SCHEDULE
DP-50 LOW-E DOUBLE HUNG

EGRESS	DESCRIPTION	ROUGH OPENING	LIGHT	VENT
NO	1852	20"x62"	3.12	2.30
NO	2030	24"x36"	3.09	1.26
NO	2030-2	48"x36"	7.09	2.25
NO	20310	24"x46"	5.19	2.37
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NO	3012 TRANSOM	36"x14"	4.55	X
NO	3024-2	72"x28"	11.26	3.26
NO	3030	36"x36"	6.37	2.69
NO	3030-2	72"x36"	12.74	5.38
NO	30310	36"x46"	8.54	3.82
NO	30310-2	72"x46"	17.08	7.64
NO	3040	36"x48"	8.91	4.01
NO	3040-2	72"x48"	17.82	8.02
NO	3046	36"x54"	10.19	4.67
NO	3046-2	72"x54"	20.38	9.34
NO	3052	36"x62"	11.89	5.55
NO	3052-2	72"x62"	23.78	11.1
NO	3052-3	108"x62"	35.67	16.65
YES	3452	40"x62"	14.33	5.88
YES	3452-2	80"x62"	28.66	11.76
YES	3452-3	120"x62"	42.99	17.64
YES	3060 D.H.	36"x72"	14.01	6.84
NO	3060 FIXED	36"x72"	14.01	X
NO	4040	48"x48"	12.41	5.53
NO	4046	48"x54"	14.19	6.44
NO	2652	30"x62"	8.88	4.00



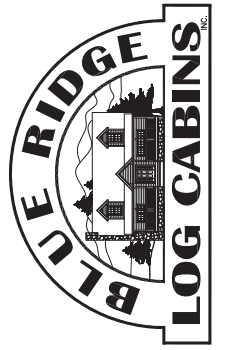
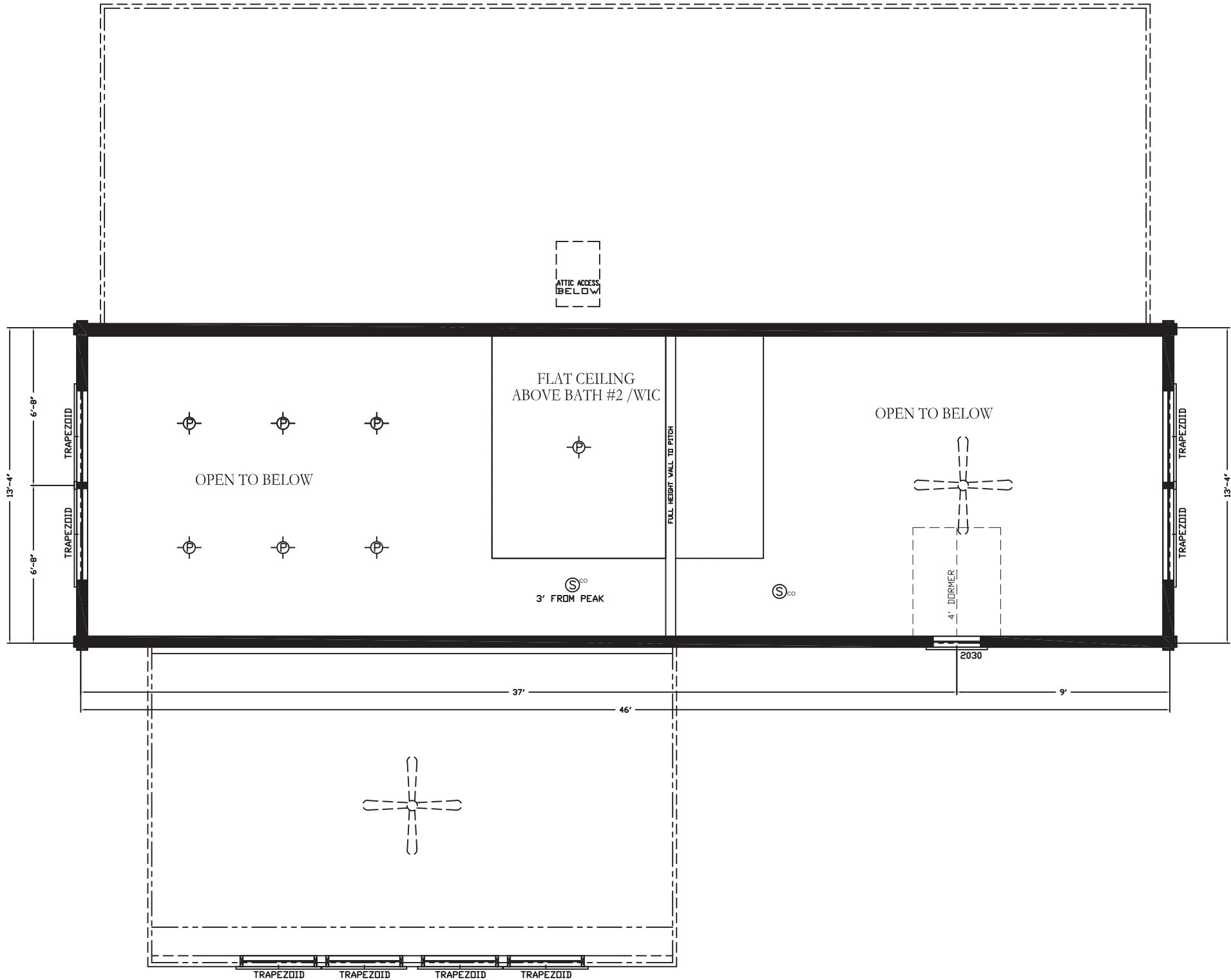
NOTE: WINDOWS SHOWN ON PLAN MAY BE REPLACED BY WINDOWS OF SIMILAR SIZE AND PURPOSE, MEETING SIMILAR LIGHT, VENTILATION, AND EGRESS QUALITIES; AND MEETING OR EXCEEDING THERMAL AND CONSTRUCTION QUALITIES AND MEET REQUIRE CODES.

INTERIOR DOOR SCHEDULE

DESCRIPTION	ROUGH OPENING
1668	20" x 82"
2068	26" x 82"
2468	30" x 82"
2668	32" x 82"
2868	34" x 82"
3068	38" x 82"
5068 DBL	62" x 82"
1668BF	20" x 82"
2068BF	26" x 82"
2468BF	30" x 82"
2668BF	32" x 82"
2868BF	34" x 82"
3068BF	38" x 82"
3068DBF	38" x 82"
4068DBF	50" x 82"
5068DBF	62" x 82"
6068DBF	74" x 82"

EXTERIOR DOOR SCHEDULE DP-47

DESCRIPTION	ROUGH OPENING	LIGHT		VENT	THERMATRU OR WEST
		9-LITE	15-LITE		
2868	34 3/8" x 82 1/2"	4.31	8.02	17.33	THERMATRU
3068	38 3/8" x 82 1/2"	4.31	8.02	19.55	THERMATRU
103068	51 13/32" x 82 1/2"	4.31	8.02	19.55	THERMATRU
10301068	64 3/4" x 82 1/2"	4.31	8.02	19.55	THERMATRU
3068 OUT SWING	38 3/8" x 81 1/4"	4.31	8.02	19.55	THERMATRU
FRENCH	75 1/4" x 82 1/2"	16.04		38.76	THERMATRU
FRENCH OUT SWING	75 3/4" x 82 1/8"	16.04		38.76	THERMATRU
ATRIUM	75 5/8" x 82 1/2"	16.04		19.38	THERMATRU
ATRIUM OUT SWING	76" x 82 1/8"	16.04		19.38	THERMATRU
9068 ATRIUM	113 1/4" x 82 1/2"	24.06		19.36	THERMATRU
6068 SGD	72" x 80"	16.04		19.38	WEST
60610 SGD	72" x 84"	16.04		19.38	PLYGEM



BLOWING ROCK IV

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 PHONE: (864) 457-7343 FAX: (864) 457-3422
 www.BlueRidgeLogCabins.com

REVISIONS	DATE	NAME
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X
X	X	X

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2ND FLOOR FLOOR PLAN

PRELIMINARY #
0X-00X
 PLAN #
XXXX
 SERIAL #
XXXXX
 SCALE
 3/16" = 1'

Henry & Diane Someillan

Property Manager – East West Associates

Vacation Rental Manager- East West Getaway



ABOUT US

Our property management team has been managing properties for over a century.

- In the late 1800s our affiliates began hospitality management in Europe
- In the 1920s residential management commenced in Brooklyn, New York City and in Bayshore, Long Island
- In the 1950s, residential , hospitality and commercial management began in the greater Tampa Bay area in Florida.
- In the 1990s, vacation property rentals were added to the portfolio in the Orlando/Disney World area
- In the 2000s, commercial, institutional, and golf course management commenced in California, Illinois, Texas, New York City, and Washington DC metro area.

Today, our vacation ownership and rental properties are coast to coast from Florida to California, Utah to the Carolinas, and we are adding locations each year.

CONTACT



7868723403



valentina@eastwestus.co



<https://www.eastwestgetaway.com>



THE MARK MIAMI, FLORIDA



ACCOMMODATIONS

THE MARK ON BRICKELL IS A 36-STORY CONDOMINIUM BUILDING LOCATED IN BRICKELL. THIS IS SOPHISTICATED CITY LIVING AT ITS BEST. COMPLETED IN 2001, THE MARK ON BRICKELL WAS DEVELOPED BY THE RELATED GROUP AND DESIGNED BY SIEGER SUAREZ ARCHITECTS. THE MARK ON BRICKELL HAS 370 CONDO RESIDENCES COMPRISED OF ONE-, TWO-, AND THREE-BEDROOM FLOOR PLANS PLUS LUXURY PENTHOUSES.



LOCATION

THE BUILDING IS DIRECTLY ON THE BISCAYNE BAY WATERFRONT AND ITS ADDRESS IS 1155 BRICKELL BAY DRIVE. ITS LOCATION PLACES RESIDENTS OF THE BUILDING WITHIN WALKING DISTANCE OF THE SHOPS AND RESTAURANTS AT BRICKELL CITY CENTRE AND MARY BRICKELL VILLAGE. BY CAR, THE MARK ON BRICKELL IS 12 MINUTES FROM COCONUT GROVE, 18 MINUTES FROM SOUTH BEACH, AND 20 MINUTES FROM MIAMI INTERNATIONAL AIRPORT.



AMENITIES

AT THE MARK, YOU'LL ENJOY SUCH RESORT AMENITIES AS

- 24-HOUR SECURITY
- A LIGHTED TENNIS COURT
- A RACQUETBALL COURT
- A SUNDECK WITH A POOL AND JACUZZI HOT TUB
- A FITNESS CENTER WITH WATER VIEWS
- ON-SITE CONVENIENCE STORE
- CONCIERGE AND SECURITY SERVICES
- A CLUBHOUSE WITH LOUNGE
- A PREMIERE WATERFRONT RESTAURANT

ADDITIONALLY, THE MARK ON BRICKELL OFFERS VALET PARKING AND CONCIERGE SERVICES. IN RECENT YEARS, THE MARK ON BRICKELL SAW A NUMBER OF BUILDING IMPROVEMENTS, INCLUDING UPDATING THE HALLWAYS, REMODELING THE LOBBY, AND ADDING GLASS RAILINGS TO THE BALCONIES.







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LAKETOWN WHARF PANAMA CITY BEACH, FLORIDA

ACCOMMODATIONS

THIS LUXURIOUS OCEANFRONT UNIT OFFERS A SPACIOUS LIVING SPACE AND LARGE FULLY EQUIPPED KITCHEN AND CAN ACCOMMODATE UP TO 8 GUESTS. ENJOY BREATHTAKING VIEWS FROM THE BALCONY ON THE 16TH FLOOR.

LOCATION

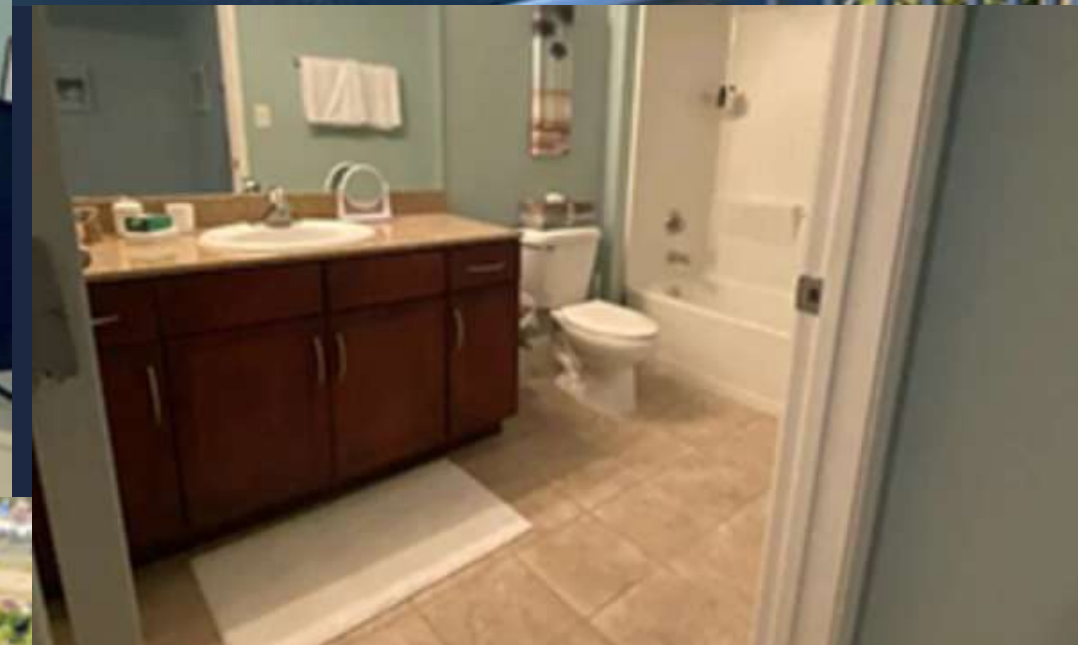
LAKETOWN WHARF RESIDES BETWEEN AN EXPANSIVE PRIVATE LAKE AND THE GULF OF MEXICO RIGHT IN THE HEART OF PANAMA CITY BEACH, FLORIDA. THE PROPERTY IS CONVENIENTLY LOCATED, JUST A 30-MILE DRIVE TO THE NORTHWEST FLORIDA BEACHES INTERNATIONAL AIRPORT.



AMENITIES

FIVE RESORT-STYLE POOLS
LAKE AND PRIVATE
BOARDWALK
PUTTING GREEN
RESTAURANT
FITNESS CENTER WITH SPA
TUB
PLAYGROUND





East West
getaway

VILLA CAPRIANI NORTH TOPSAIL BEACH, NORTH CAROLINA

ACCOMMODATIONS

2 BEDROOM/2 BATHROOM
(SLEEPS 6)

NEWLY RENOVATED OCEAN
VIEW CONDO WITH
SEPARATE LIVING SPACE,
FULLY EQUIPPED KITCHEN
AND WASHER/DRYER.

LOCATION

THE CONDOMINIUM IS SITUATED IN
BEAUTIFUL NORTH TOPSAIL BEACH IN NORTH
CAROLINA WHERE THE WATER
TEMPERATURES ARE WARM ENOUGH TO
SWIM AND PLAY MAY THROUGH OCTOBER.
THE VILLA IS CLOSE TO SEVERAL LOCAL
SHOPS AND RESTAURANTS SO YOU CAN
HAVE YOUR PICK OF DISTINCTIVE ISLAND
TREASURES AS WELL AS SOME OF THE BEST
SURF AND TURF AROUND.



AMENITIES

FOUR OCEANFRONT POOLS

HOT TUBS

POOLSIDE CABANA BAR

ON-SITE RESTAURANT

TENNIS COURTS

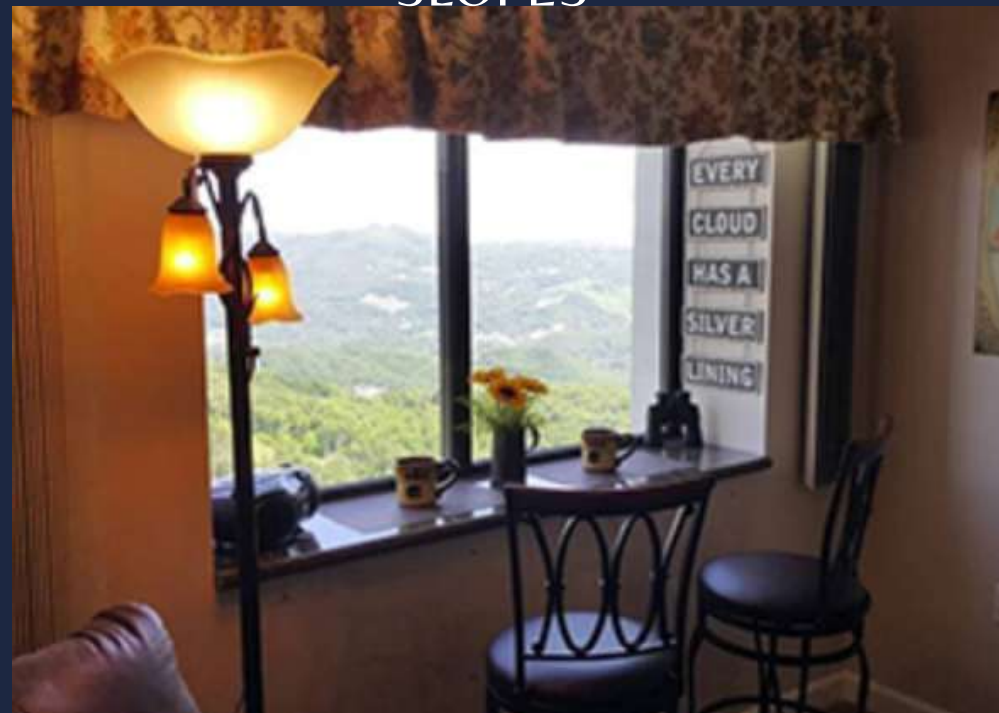


SUGAR MOUNTAIN, NORTH CAROLINA



ABOUT

SUGAR TOP RESORT IS A UNIQUE CONDOMINIUM COMMUNITY LOCATED ATOP LITTLE SUGAR MOUNTAIN NEAR BANNER ELK, NORTH CAROLINA. PERCHED AT AN ELEVATION OF 5,000 FEET, THIS FULLY-FURNISHED TWO-BEDROOM CONDO OFFERS MAJESTIC VIEWS OF SUGAR MOUNTAIN SKI SLOPES

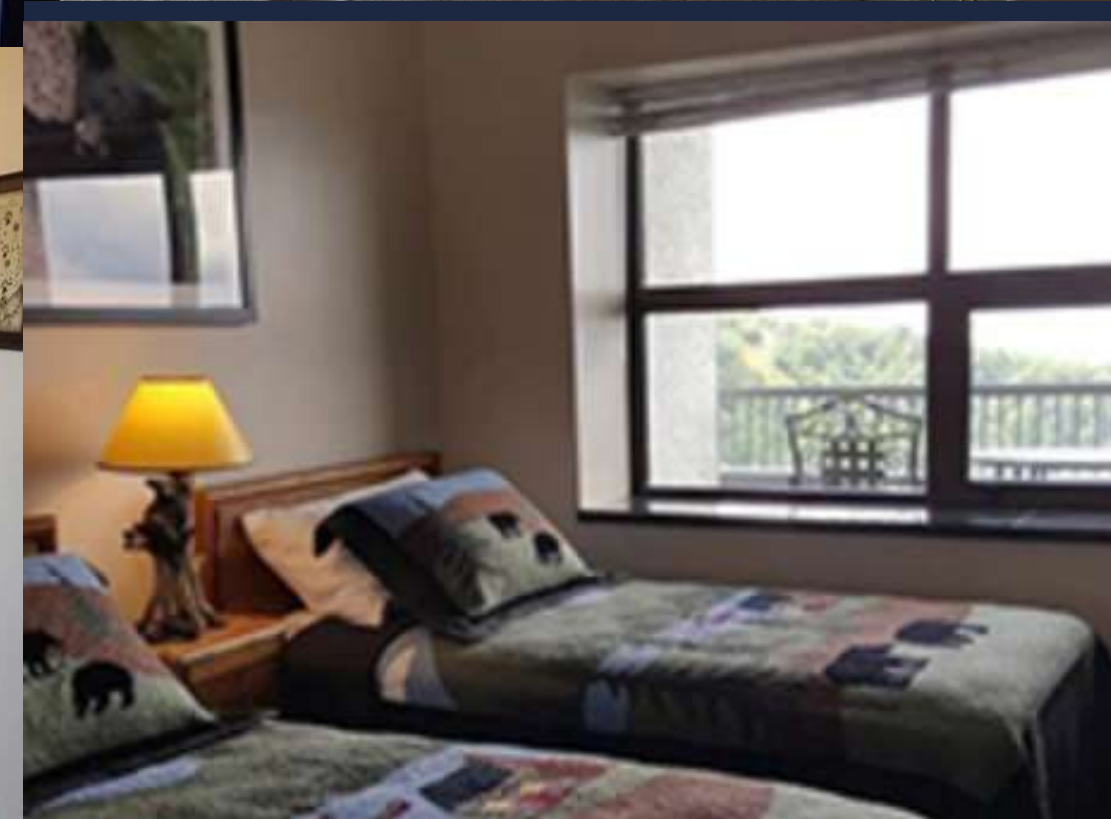
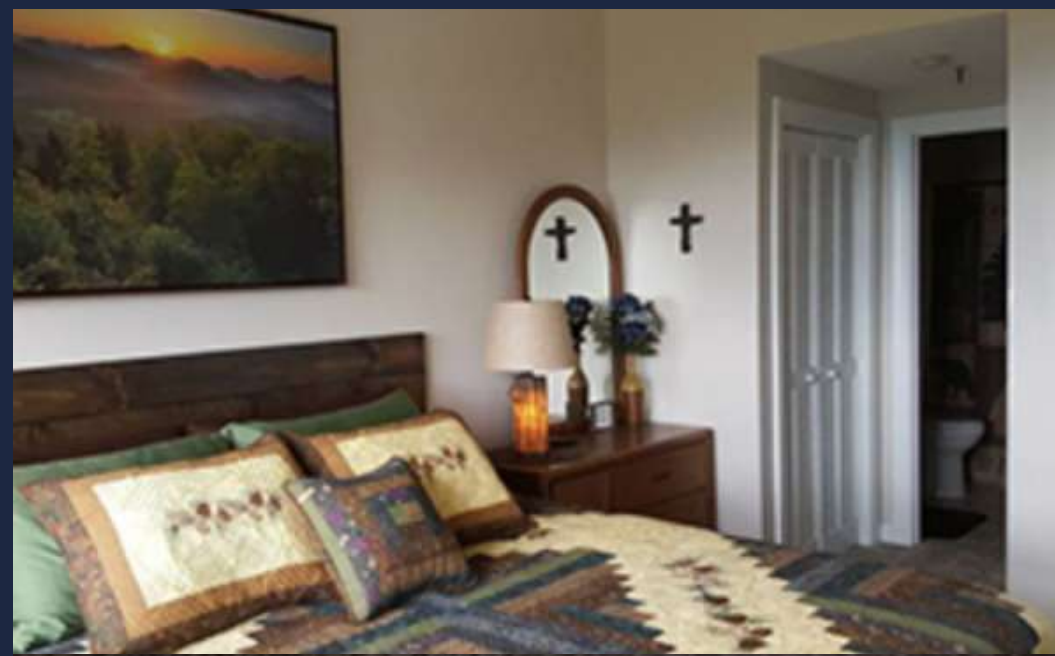


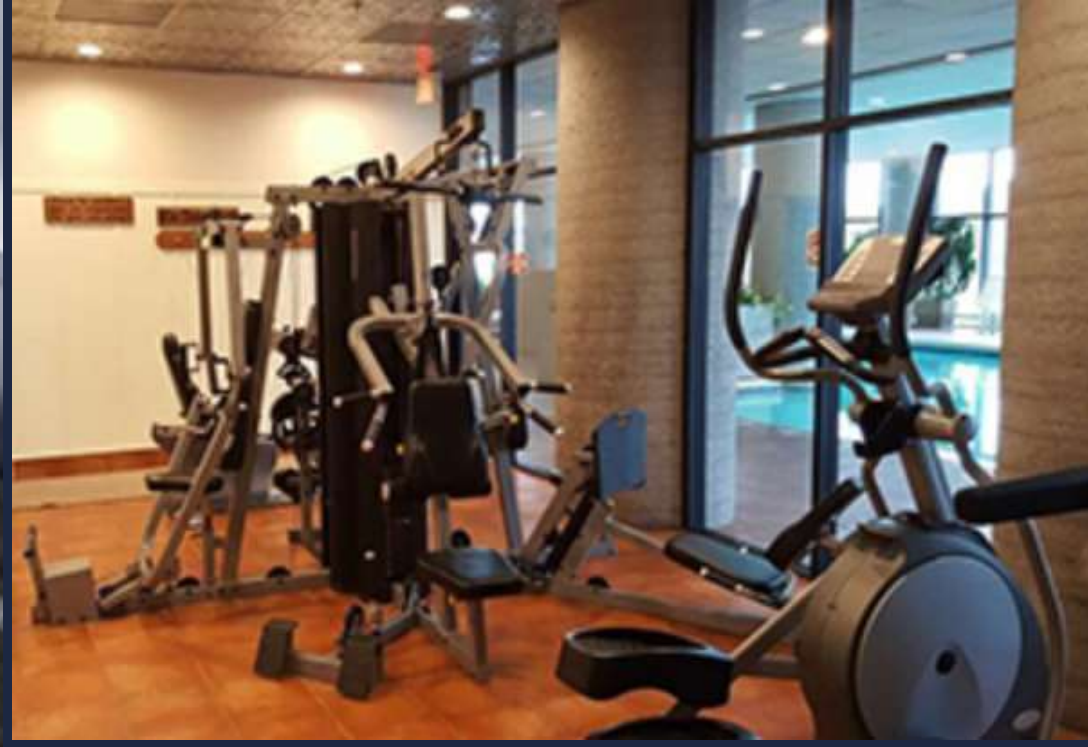
LOCATION

ESCAPE TO THE WESTERN NORTH CAROLINA HIGH COUNTRY AND YOU WILL FIND A WIDE VARIETY OF ACTIVITIES AND ATTRACTIONS TO ENJOY, ALL SURROUNDED BY THE BEAUTY OF THE BLUE RIDGE MOUNTAINS. AT THE BASE OF SUGAR MOUNTAIN LIES THE TOWN OF BANNER ELK, KNOWN FOR ITS FRIENDLY COMMUNITY AND EXQUISITE COLORS DURING THE FALL. BANNER ELK'S ONE-STOP-LIGHT TOWN IS A GREAT GETAWAY FOR FAMILIES WITH ENDLESS OUTDOOR OPPORTUNITIES INCLUDING ANTIQUE SHOPS, HIKING AND BIKING TRAILS, HORSEBACK RIDING, GOLF, SKIING, SHOPPING, WHITE WATER RAFTING, AND A PLETHORA OF DINING OPTIONS. THE CLOSEST INTERNATIONAL AIRPORT IS LOCATED IN WILMINGTON, NORTH CAROLINA.

AMENITIES

INDOOR SWIMMING POOL
JACUZZI
EXERCISE ROOM
STEAM ROOM
WHIRLPOOL
24-HOUR SECURITY
AND FRONT DESK SERVICE





FIREFLY RESORT LAKE LURE, NORTH CAROLINA

ACCOMMODATIONS

1 BEDROOM/1.5 BATHROOM
CONDOMINIUM
KING BED WITH EN SUITE FULL
BATH (MAX. OCCUPANCY: 2)

LOCATION

PRIVATE CONDOMINIUM LOCATED
IN A PREMIER GATED COMMUNITY
OF FIREFLY COVE. JUST MINUTES TO
LAKE LURE, CHIMNEY ROCK, BAT
CAVE AND THE SCENIC BLUE RIDGE
PARKWAY. LESS THAN 35 MINUTES
TO ASHEVILLE, THE ASHEVILLE
REGIONAL AIRPORT AND
DOWNTOWN HENDERSONVILLE.
DOWNTOWN ASHEVILLE OFFERS
FIRST-RATE RESTAURANTS,
ANTIQUING, BOUTIQUE SHOPPING,
GALLERIES, SPAS, AND
ENTERTAINMENT.





PALM AIRE POMPANO BEACH, FLORIDA

ACCOMMODATIONS

THESE SPACIOUS STUDIOS, ONE, AND TWO-BEDROOM RESORT SUITES COMFORTABLY SLEEP TWO TO SIX GUESTS AND FEATURE A FULL KITCHEN, WHIRLPOOL TUBS, DINING AREA, TVS, AND WI-FI. ENJOY BEAUTIFUL GARDEN OR GOLF COURSE VIEWS FROM THE BALCONY OR PATIO IN EVERY SUITE.



LOCATION

IDEALLY LOCATED JUST NORTH OF FORT LAUDERDALE, ALSO KNOWN AS “THE HEART OF FLORIDA’S GOLD COAST,” POMPANO BEACH IS HOME TO SOME OF THE WARMEST AND CLEAREST WATERS, GOLDEN SANDY BEACHES, AND CALMING BREEZES GIVING YOU A VERY WARM WELCOME TO YOUR VACATION. NEARBY, YOU CAN EASILY ENJOY EXCITING WATER ADVENTURES FROM DEEP-SEA FISHING, SCUBA DIVING TO PADDLE BOARDING, OR A GAME OF SAND VOLLEYBALL. LESS THAN A 20-MINUTE DRIVE TO FORT LAUDERDALE INTERNATIONAL AIRPORT, ARRIVAL IS QUICK AND STRESS-FREE, REGARDLESS OF WHERE YOU’RE TRAVELING FROM. WANT TO MAKE A DAY TRIP FOR MORE FUN IN THE SUN? MANY SOUTH FLORIDA CITIES SUCH AS PALM BEACH, BOCA RATON, AND MIAMI ARE ALL EASILY ACCESSIBLE.



GRAND BEACH RESORT – CLEARWATER BEACH, FLORIDA



ACCOMMODATIONS

A TWO-BEDROOM SUITE WITH 1 TO 2 BATHROOMS FEATURES A FULL KITCHEN WITH REFRIGERATOR, STOVE, MICROWAVE, COFFEE MAKER, AND GLASSWARE AND A DINING AREA. EACH SUITE HAS FREE WIFI AND AN IN-ROOM WASHER AND DRYER. SLEEPS FOUR.

AMENITIES

FOUR OCEANFRONT POOLS
HOT TUBS
BAR AND GRILL
BEACHFRONT RESTAURANT
SPA
FITNESS CENTER

LOCATION

LOCATED ON THE WEST COAST OF FLORIDA IN CLEARWATER BEACH, THE PIER 60 DAILY FESTIVAL OFFERS YEAR-ROUND EXCITEMENT AND THE CLEARWATER MARINE AQUARIUM SHOWCASES AQUATIC LIFE. JUST A 30-MILE DRIVE TO TAMPA AND YOU CAN CATCH A RAYS BASEBALL GAME OR A BUCCANEERS FOOTBALL GAME. TAMPA INTERNATIONAL AIRPORT (TPA) IS CONVENIENT FOR DOMESTIC AND INTERNATIONAL TRAVEL AS WELL AS AIRPORTS IN NEARBY CLEARWATER AND ST. PETERSBURG, FLORIDA.

SUNRISE LODGE – PARK CITY, UTAH

ACCOMMODATIONS

STUDIO CONDOMINIUM WITH 1
BATHROOM, SLEEPS 2

ABOUT

SUNRISE LODGE IS A SKI-IN RESORT THAT OFFERS A YEAR-ROUND DESTINATION FOR SKIING, HIKING, EXPLORING AND RELAXATION. A COMPLIMENTARY SHUTTLE SERVICE WITHIN THE PARK CITY RESORT AREA ENSURES YOU'LL NEVER BE FAR FROM SHOPPING, RESTAURANTS, AND ENTERTAINMENT. INSPIRED BY PARK CITY'S NATURAL SURROUNDINGS AND MOUNTAIN HERITAGE, THIS RESORT BLENDS RUSTIC ARCHITECTURE WITH MODERN ELEGANCE.

LOCATION

SUNRISE LODGE BY HILTON GRAND VACATIONS IS NESTLED IN THE CHARMING MOUNTAINSIDE VILLAGE OF THE CANYONS RESORT, ONLY FOUR MILES FROM DOWNTOWN PARK CITY, UTAH. LOCATED AT THE BASE OF THE SUNRISE LIFT, THE RESORT IS AT THE HEART OF HISTORIC PARK AVENUE, THE UTAH OLYMPIC PARK, AND THE ANNUAL SUNDANCE FILM FESTIVAL. THE SALT LAKE CITY INTERNATIONAL AIRPORT IS LESS THAN 30 MINUTES FROM PARK CITY.



Vacation Rental Customer Reviews

Experience

Construction Manager Experience

Websites



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Property References

Firefly Cove, unit 101

Lake Lure NC 28746

<https://www.eastwestgetaway.com/firefly-resort-lake-lure-north-carolina/>

Laketown Wharf, unit 1604

Panama City Beach, FL 32408

<https://www.eastwestgetaway.com/laketown-wharf-panama-city-beach-florida/>

Villa Capriani, unit 307A

North Topsail Beach NC 28460

<https://www.eastwestgetaway.com/villa-capriani-north-topsail-beach-north-carolina/>

Sugar Top, unit 3927

Sugar Mountain, NC 28604

<https://www.eastwestgetaway.com/sugar-top-resort-sugar-top-mountain-north-carolina/>

The Mark - Miami, Florida

<https://www.eastwestgetaway.com/the-mark-miami-florida/>

Project Brochures

Company Brochures

Buffalo Ridge

River Rock Brochure



BLUERIDGE LOG CABINS

Building Custom Homes Since 1992



*River Rock II
Custom Home of the Griecos*

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Appraising Log Homes

An overview of the log home industry and log home appraisals

Introduction

While log homes appeal to many home buyers, determining their value presents a challenge for appraisers and lenders. Log homes comprise a specialized segment of the housing market, making valuation and comparisons with other types of housing difficult. Because many appraisers and lenders have limited experience with log construction, they turn to comparable value properties to establish value. But, a comparable value approach can be misleading.

The appeal of logs has become one of nostalgia for simpler times, a more “natural” lifestyle, and perhaps breathing room after a day spent battling modern technology. Log home living today is not just about housing, it’s about lifestyle. This has important implications for valuing the structure and its marketability.

Appraising Log Homes

Traditionally, appraisers and lenders based comparisons on homes of similar construction and design. This often made it impossible to appraise a log home simply because no similar home existed in the market area. Fannie Mae addressed this problem in Announcement 91-28 which stated “We have no requirement that one or more of the comparable sales must be of the same design and appeal as the property being appraised... If recent comparable sales of the same design and appeal as the property that is being appraised are not available, but the appraiser is able to determine sound adjustments for the differences between the comparables that are available and subject property and to demonstrate the marketability of the property-based on older comparable sales, comparables sales in competing neighborhoods, the existence of similar properties in the market area, and other reliable market data – the mortgage is acceptable to Fannie Mae.”

Fannie Mae’s guideline leaves more flexibility in choosing comparables, but the appraiser or lender is still left with the challenge of choosing realistic comps.

When comparing log homes with conventional (“stick-built”) homes it is important to recognize that log homes are usually highly customized both in design and materials. They often include features considered upgrades in other types of housing.



These include:

- Open beamed ceilings
- Cathedral ceilings
- Solid wood wall coverings
- Solid wood siding
- Custom wood stairs and railings
- Custom wood trim
- Custom or solid wood interior doors
- Solid wood floors
- Custom wood cabinetry
- Masonry fireplaces
- Energy efficient windows
- Cedar shake, metal or slate roofs
- Set on large, often secluded lots
- Porches and decks

When comparing a log home to a similar sized custom conventional home that does not include these features, the value contributed to a conventional home can be added to give a more realistic picture of the value of the log home.

Energy Efficiency

Log homes have a deserved reputation for energy efficiency. Tests performed by the federal government found a log structure to perform as well or better than other types of construction, including an R-11 insulated 2x4 framed wall structure, even though the nominal R-value of the log wall was less than nine.

Experts attribute the energy efficiency of log homes to thermal mass of the solid wood. In addition, a well-sealed and maintained log home does not exhibit the energy loss due to convection or air infiltration that is characteristic of framed wall construction.

Marshall & Swift turned to the Log Homes Council to learn how to more accurately capture the value of log homes in appraisals. The LHC assisted in developing “The Log Home Appraisal Training Guide” which was designed to be a companion text to the Residential Cost Handbook, a standard publication for Marshall & Swift.

Excerpts taken from the Log Homes Council 2008



Appraising Log Homes
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REVISIONS	DATE:	NAME:	SDS	SDS	SDS	SDS	SDS	SDS	SDS	SDS
PRELIMINARY APPRAISAL PACKAGE	12-12-18		X	X	X	X	X	X	X	X
	12-21-18		X	X	X	X	X	X	X	X

HOW TO APPRAISE

PRELIMINARY #
18-103

PLAN #
XXXX

SERIAL #
218075

SCALE
3/16" = 1'

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**Custom Log Cabin Specifications by
Blue Ridge Log Cabins
Limited Lifetime Warranty on all materials**

Top Quality Solid Exterior Log Walls

6" x 8" White Pine D-shaped Butt & Pass Logs
Quality assurance provided per the Timber Products Inspection Grading Rules
Kiln dried to sterilize the logs, crystallize sap, and reduce the effects of shrinkage
Closed cell foam tape installed as gasket between log courses
Wood dowel pins to seal vertical butt joints
Tempered and coated Log fasteners self-countersink

Interior Wall System

2x4 wall framing 16" on center
1x12 tongue and groove Eastern White Pine wallboard
1x8 tongue and groove Eastern White Pine ceiling board
1x4 pine base trim and 1x2 pine ceiling trim

Interior Doors

Solid knotty pine arched v-groove doors
Kwikset lever action locksets

Exterior Doors

Therma-Tru 3068 insulated fiberglass entrance doors
West 6068 premier vinyl sliding glass door, Low E glass, DP50, with screen
Therma-Tru 6068 atrium center hinge fiberglass patio door
Kwikset deadbolt handle sets installed on all 3068 doors
Kwikset deadbolt locks installed on all 6068 center hinge doors

Top Quality West Windows

Vinyl double-hung Low E glass, Dp-50 with screen
Lifetime transferable limited warranty
Windows available with grids between glass or no grids
Full mesh screen with each operable window

Kitchens

Merillat Classic Cabinets, all plywood box with soft close doors & drawers
Granite countertops & backsplash
Whirlpool Stainless Steel appliances including:
25 CF refrigerator with water and ice dispenser
30 inch radiant range glass top
24 inch under counter dishwasher
Microwave installed over range
Under mount stainless steel sink with Peerless single lever faucet
1/2 HP garbage disposal



Bathrooms

Merillat Classic Cabinets
Cultured marble vanity top
Elongated commodes
Aquatic whirlpool tubs
Aker fiberglass tubs and showers
Peerless faucets

Floor Materials

9 1/4" wood Open-Joist floor joists; 16" on center
5/8 OSB sub-floor glued & nailed decking
3/4 x 1x6 Tongue & Groove Solid Yellow Pine flooring

Roof Materials

5/8 OSB roof decking
30 lb. felt paper
Owens Corning Duration limited lifetime architectural shingles
R-38 Owens Corning roof insulation

Plumbing Materials

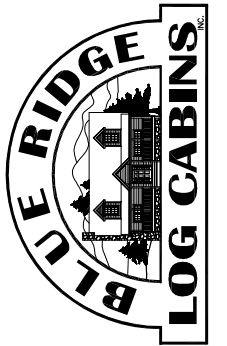
Pex supply lines
PVC drain & vent lines
50 gallon electric water heater
Two exterior hose bibs

Electrical Materials

200 amp load center with breakers
All electrical wiring to code
Four exterior outside corner flood lights
One coach light per exterior door
Two exterior GFI receptacles
Hunter ceiling fans in Bedrooms & Living areas

Designed with State-of-the-Art Drafting Software

Complete set of sealed engineered plans provided with each home



SPECIFICATIONS

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REVISIONS	DATE:	NAME:	PRELIMINARY	APPRAISAL PACKAGE	SDS	SDS	X	X	X	X	X	X
	12-12-18				X	X	X	X	X	X	X	X
	12-21-18				X	X	X	X	X	X	X	X

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SPECIFICATIONS

PRELIMINARY #
18-103
PLAN #
XXXX
SERIAL #
218075
SCALE
3/16" = 1'
1'-0" 5'-0"
6"

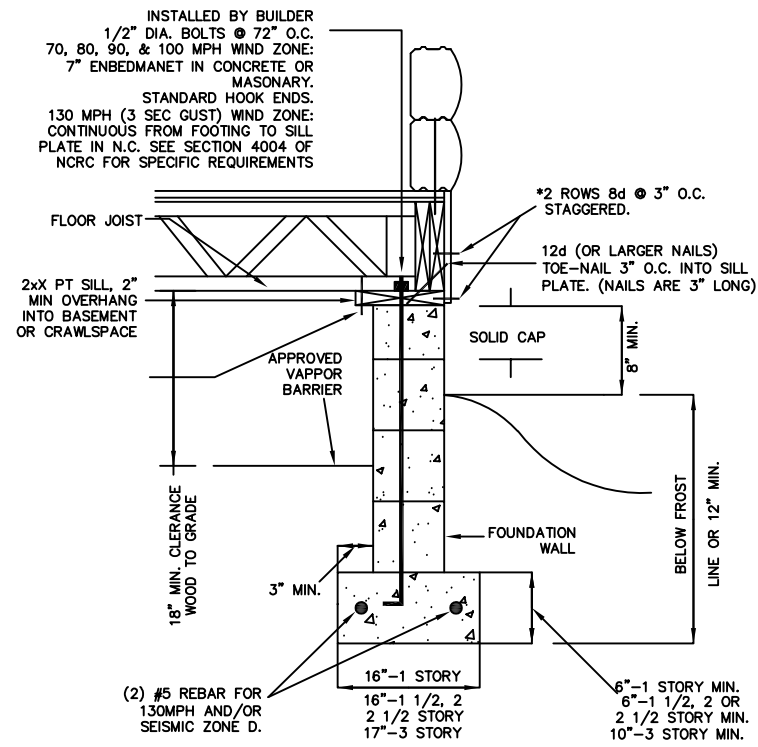
NOTES:

- FOUNDATION AND ITS STRUCTURAL ELEMENTS SHALL BE CAPABLE OF ACCOMMODATING ALL SUPERIMPOSED LIVE, DEAD, AND OTHER LOADS IN ACCORDANCE WITH CODES AND ALL LATERAL LOADS IN ACCORDANCE WITH ACCEPTED DESIGN PRACTICES.
- LOTS SHALL BE PROVIDED WITH ADEQUATE DRAINAGE AND SHALL BE GRADED SO AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS—BY LOT OWNER.
- MATERIALS SHALL CONFORM WITH APPLICABLE STANDARDS AND CODE.
- CONCRETE SUBJECT TO WEATHERING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AND AIR CONTENT IN ACCORDANCE WITH CODE. 2500 PSI MINIMUM.
- ALL EXTERIOR WALLS, BEARING WALLS, COLUMNS, AND PIERS SHALL BE SUPPORTED ON CONTINUOUS SOLID MASONRY OR CONCRETE FOOTINGS WHICH SHALL BE OF SUFFICIENT DESIGN TO SUPPORT SAFELY THE LOADS IMPOSED AS DETERMINED FROM THE CHARACTER OF THE SOIL, AND SHALL IN ALL CASES EXTEND BELOW THE FROST LINE. TOP SURFACE SHALL BE LEVEL AND BOTTOM NOT EXCEEDING 1 IN 10 SLOPE. FOOTINGS SHALL BE NOT LESS THAN SHOWN ON THE DRAWINGS.
- FOUNDATIONS SHALL EXTEND NOT LESS THAN 12 INCHES BELOW THE FINISHED NATURAL GRADE OR ENGINEERED FILL AND IN NO CASE LESS THAN THE FROST LINE DEPTH. FOOTING ON SOIL WITH A LOWER ALLOWABLE SOIL PRESSURE SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. MIN. SOIL BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F. HOWEVER, WHERE THERE IS EVIDENCE THAT THE GROUNDWATER TABLE CAN RISE TO WITHIN 6 INCHES OF THE FINISHED GRADE AT THE BUILDING PERIMETER OR WHERE THERE IS EVIDENCE THAT SURFACE WATER DOES NOT READILY DRAIN FROM THE BUILDING SITE, THE BUILDING OFFICIAL MAY REQUIRE THAT THE GRADE IN THE UNDER-FLOOR SPACE BE AS HIGH AS THE OUTSIDE FINISHED GRADE, UNLESS AN APPROVED DRAINAGE SYSTEM IS PROVIDED. TERMITE SHIELDS AND/OR PROTECTION SHALL BE PROVIDED AS PER CODE.

- CRAWL SPACE AND ACCESS SPACE SHALL BE VENTILATED BY OPENINGS IN THE FOUNDATION WALLS. THE AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN ONE (1) SQ. FT. PER 150 SQ. FT. OF CRAWL SPACE AREA. ONE OPENING SHALL BE WITHIN 3 FT. OF EACH CORNER OF THE BUILDING. USE PLASTIC OR EQUAL 8" X 16" VENTS WITH CORROSION-RESISTANT WIRE MESH.
- TREATED 2x10 SILL PLATE FLUSH WITH OUTSIDE OF CONCRETE BLOCKS FASTENED WITH BOLTS THROUGH CONCRETE BLOCKS.
- MINIMUM ALLOWABLE SOIL BEARING CAPACITY 2,000 PSF.
- MORTAR TYPE S

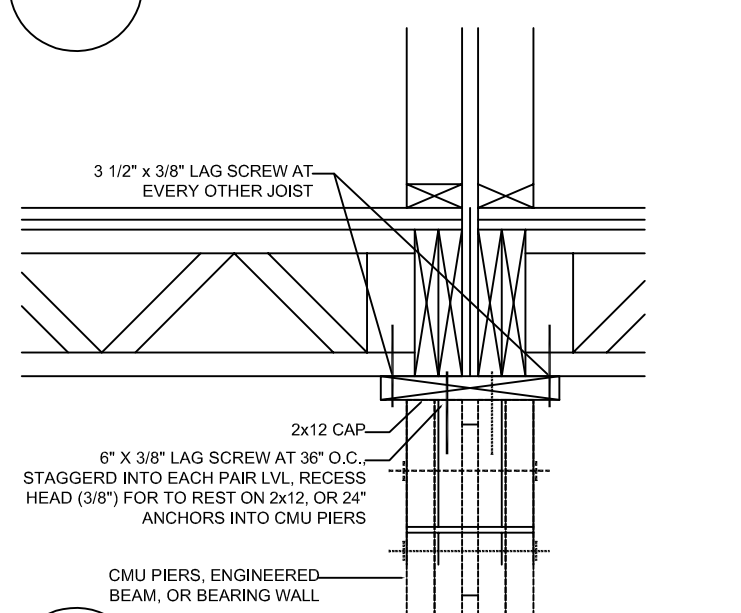
NOTE:
CUSTOMER TO PROVIDE STRAW AROUND FOUNDATION FOR SET CREW IN CASE OF MUD. BRLC OR SET CREW IS NOT RESPONSIBLE FOR MUD OR DIRT TRACKED INTO HOUSE.

NOTE:
FOR NORTH CAROLINA: UNITS BEING PLACED IN AN AREA CONSIDERED A "HIGH WIND ZONE" BY NORTH CAROLINA SHALL CONSTRUCT THE FOUNDATION, FOOTINGS AND ASSOCIATED STRUCTURE AND HARDWARE IN ACCORDANCE WITH THE "HIGH WINDS ZONE" CHAPTER OF THE CURRENT NORTH CAROLINA RESIDENCIAL CODE.



TYPICAL SECTION @ EXTERIOR WALL

S-1 DETAIL AT FOUNDATION WALL



S-2 DETAIL AT MARRIAGE WALL

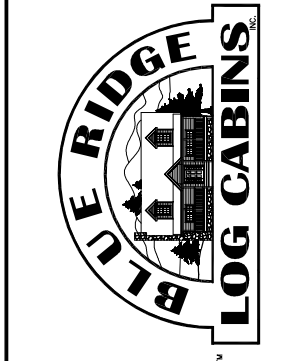
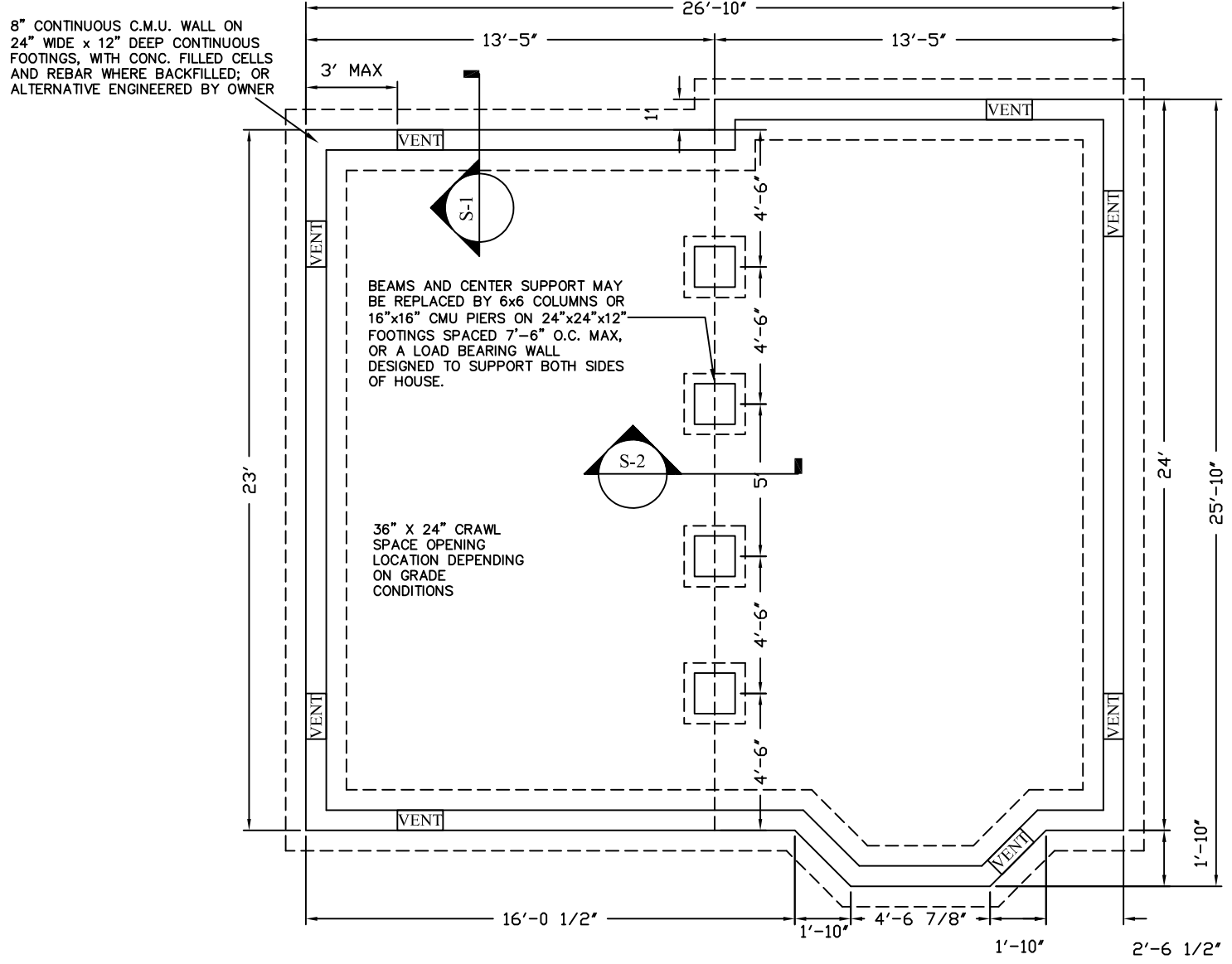


FOUNDATION
FOR DIMENSIONAL PURPOSES ONLY AND MUST BE DESIGNED FOR SPECIFIC SITE CONDITIONS BY OTHERS.

NOTE:
FOUNDATION CONSTRUCTION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND MUST MEET ALL STATE AND LOCAL CODES.

CRAWLSPACE VENTILATION:
VENTS REQUIRED (1ft²/150ft²)
642 ft²/150ft²= 4.28

FOUNDATION WALLS, PIERS, GRADE BEAMS AND ALL OTHER FOUNDATION ELEMENTS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL HAVING KNOWLEDGE OF THE LOCAL SOIL CONDITIONS. IN ADDITION TO ALL CODE REQUIREMENTS, FOUNDATION DESIGN SHALL INCORPORATE ALL HOLD-DOWNS, POINT LOADS EQUAL TO THE HOLD-DOWN CAPACITY AT ALL HOLD-DOWN LOCATIONS, UPLIFT LOADS, LATERAL LOADS, AND GRAVITY LOADS INDUCED BY THE MODULAR STRUCTURE.



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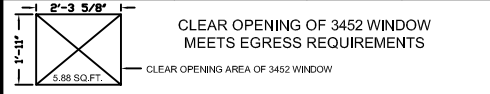
REVISIONS	DATE	NAME	SDS	SDS	SDS	SDS	SDS	SDS	SDS
PRELIMINARY	12-12-18		X	X	X	X	X	X	X
APPRAISAL PACKAGE	12-21-18		X	X	X	X	X	X	X

FOUNDATION
PRELIMINARY #
18-103
PLAN #
XXXX
SERIAL #
218075
SCALE
3/16" = 1'
1'-0" 5'-0"

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WEST WINDOW SCHEDULE DP-50 LOW-E

EGRESS	DESCRIPTION	ROUGH OPENING	LIGHT	VENT
NO	2030	24" x 36"	3.09	1.26
NO	3030	36" x 36"	6.37	2.69
YES	3452	40" X 62"	14.33	5.68
NO	3060 FIXED	36"X72"	14.01	X



EXTERIOR DOOR SCHEDULE DP-47

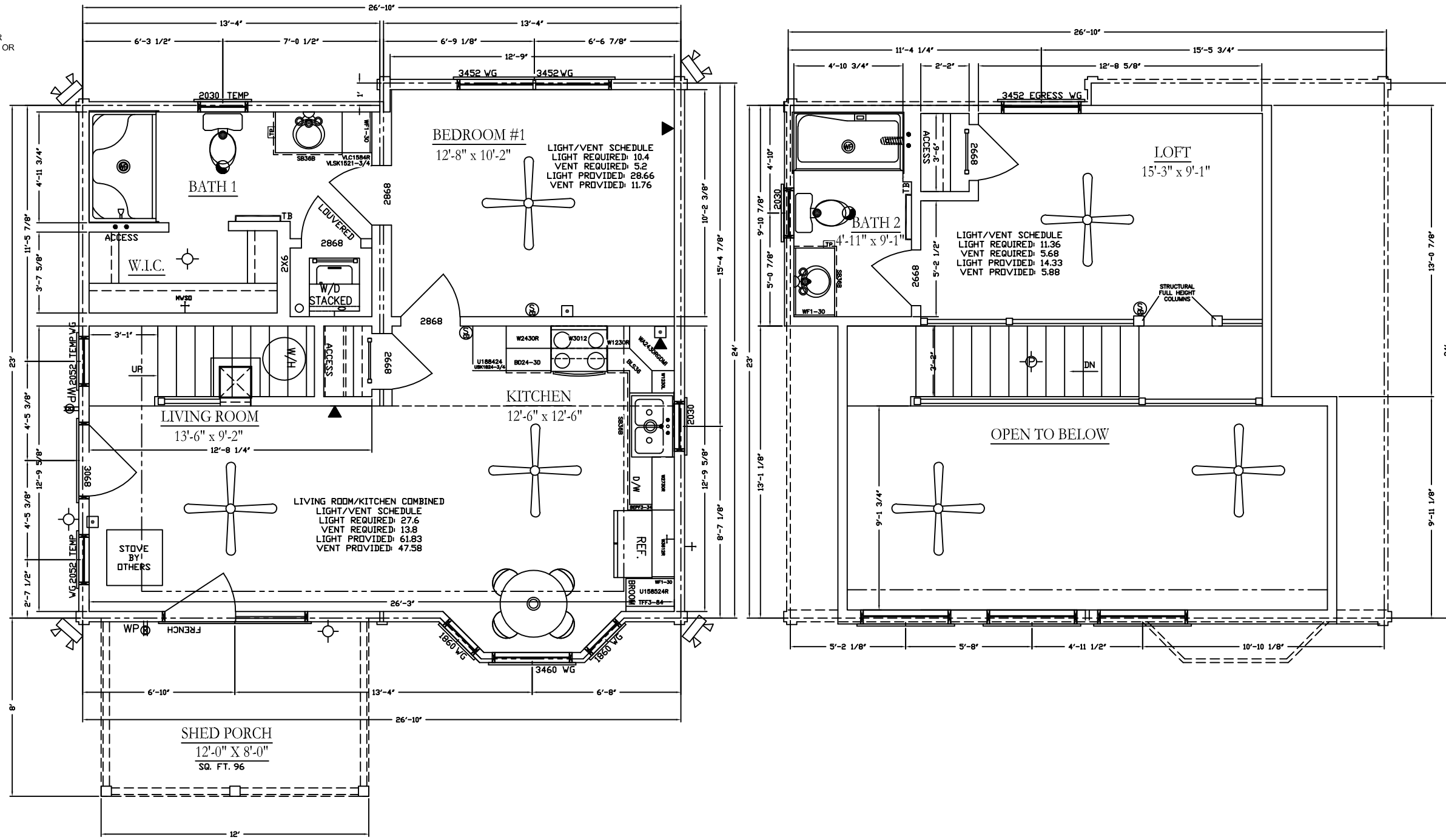
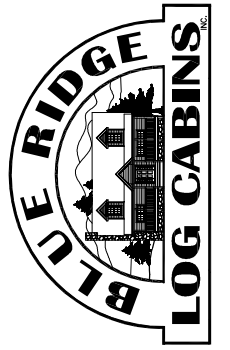
DESCRIPTION	ROUGH OPENING	LIGHT	VENT
3068	38 3/8" x 81 1/4"	4.31	8.02
FRENCH	75 1/4" x 81 3/4"	16.04	38.76
6068 SGD	72" X 80"	16.04	19.38

INTERIOR DOOR SCHEDULE

DESCRIPTION	ROUGH OPENING
3068 LOUVERED	38" x 82"
2668	32" x 82"
2868	34" x 82"
2868 PD	34" x 82"

NOTE: WINDOWS SHOWN ON PLAN MAY BE REPLACED BY WINDOWS OF SIMILAR SIZE AND PURPOSE, MEETING SIMILAR LIGHT, VENTILATION, AND EGRESS QUALITIES; AND MEETING OR EXCEEDING THERMAL AND CONSTRUCTION QUALITIES AND MEET REQUIRED CODES.

642 SF-FIRST FLOOR
215 SF-LOFT
857 SF-APPROXIMATE TOTAL



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REVISIONS	DATE	NAME	SDS	SDS	X	X	X	X	X
PRELIMINARY	12-12-18		X	X	X	X	X	X	X
APPRAISAL PACKAGE	12-21-18		X	X	X	X	X	X	X

FLOOR PLAN

PRELIMINARY # **18-103**

PLAN # **XXXX**

SERIAL # **218075**

SCALE
3/16" = 1'

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ELEVATION DRAWINGS ARE FOR ILLUSTRATION ONLY. SEE FLOOR PLAN AND SALES CONTRACT FOR SPECIFIC DETAILS

PORCHES (INCLUDING PORCH ROOFS, DECKS, AND STEPS) NOTE: PORCHES ARE OPTIONAL. THE OWNER MAY VARY THE PORCHES FROM THOSE ILLUSTRATED HERE. PORCHES ARE DESIGNED AND BUILT BY OTHERS IN ACCORDANCE WITH STATE AND LOCAL CODES AND ARE SUBJECT TO INSPECTIONS TO CODE BY LOCAL OFFICIALS.

DORMERS AND SHIPLOOSE GABLE END WALLS ARE FINISHED W/ AN APPROVED WATER BARRIER AND LOG SIDING THAT IS LAPPED IN ACCORDANCE TO THE BUILDING CODES

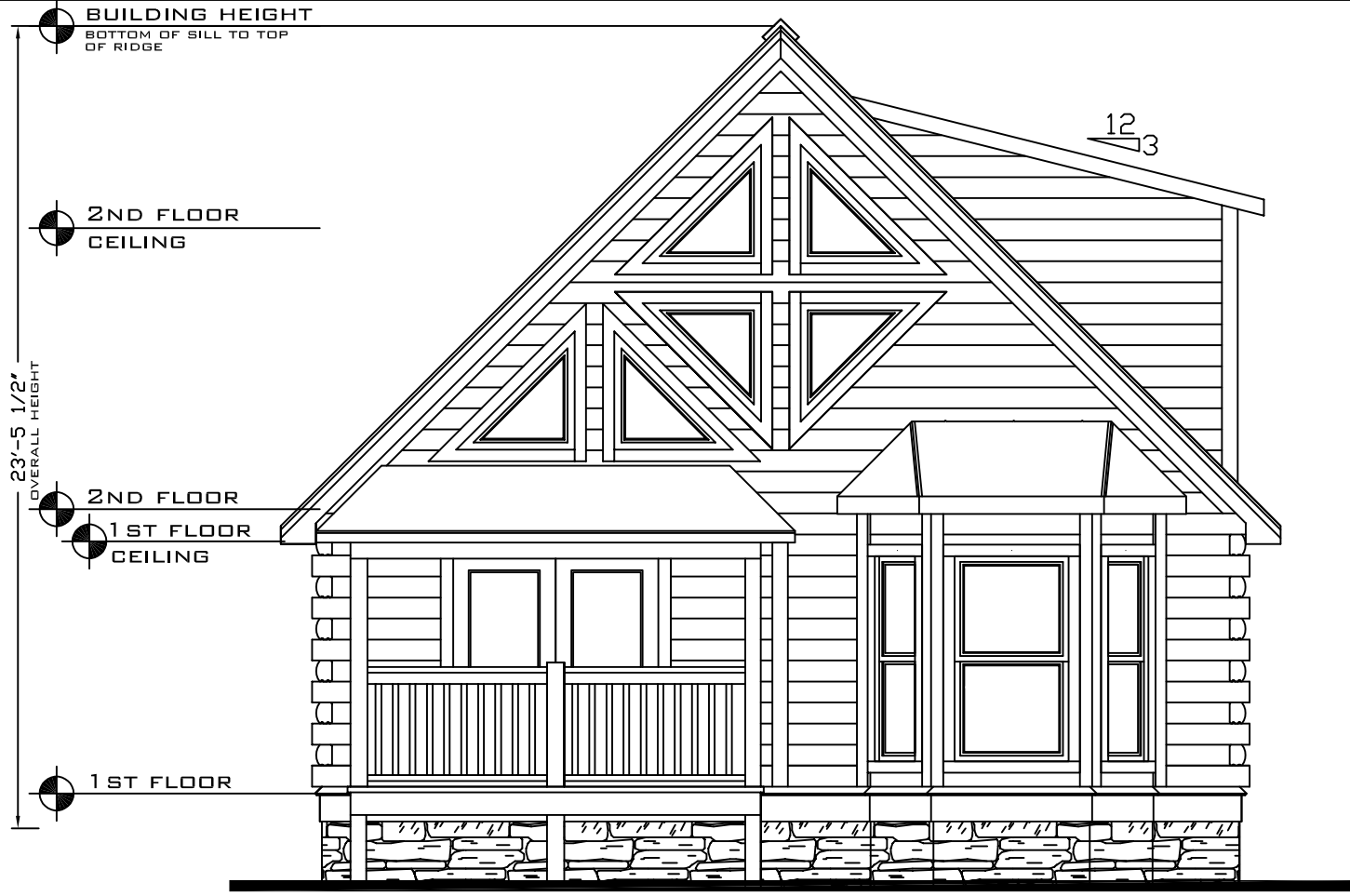
SHINGLE LABEL

UL LISTED
PREPARED ROOFING MATERIALS
 DEGREE OF RESISTANCE TO EXTERNAL FIRE AND FLAMMABILITY LIMITS IN ACCORDANCE WITH UL STANDARD 790
 WIND RESISTANCE ALSO CLASSIFIED IN ACCORDANCE WITH ASTM D3161, CLASS F WHEN APPLIED IN ACCORDANCE WITH INSTRUCTIONS INCLUDED WITH THIS ROOFING

R-2453 ISSUE M-46,645

ASTM D 3462

MEAN ROOF HEIGHT = 20'-0"
 MEAN ROOF HEIGHT IS ESTIMATED UNDER THE ASSUMPTION THAT THE BASEMENT IS 10'-0" HEIGHT WITH AN AVERAGE BACK FILL OF 5'-0"



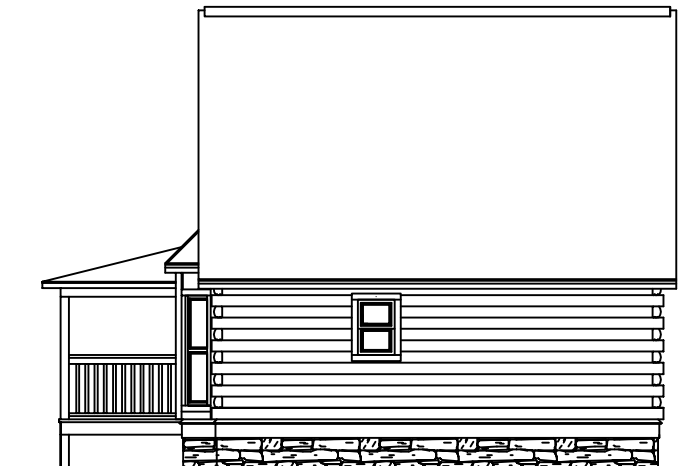
FRONT ELEVATION
 SCALE: 3/16" = 1'
 NOTE: FOUNDATION CONSTRUCTION MUST BE IN ACCORDANCE TO STATE AND LOCAL BUILDING CODES AND IS THE SOLE RESPONSIBILITY OF GENERAL CONTRACTOR/OWNER. FOUNDATION HERE IS FOR ILLUSTRATION PURPOSES ONLY. EXTERIOR FINISHES TO BE DETERMINE AND SUPPLIED ON SITE BY OWNER



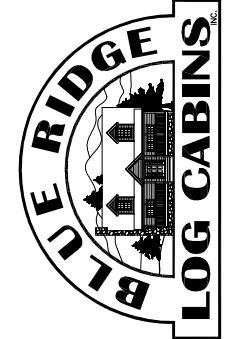
LEFT SIDE ELEVATION
 SCALE: 3/32" = 1'



REAR ELEVATION
 SCALE: 3/32" = 1'



RIGHT SIDE ELEVATION
 SCALE: 3/32" = 1'



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REVISIONS	DATE:	NAME:	SDS	SDS	X	X	X	X	X	X
PRELIMINARY	12-12-18				X	X	X	X	X	X
APPRAISAL PACKAGE	12-21-18				X	X	X	X	X	X

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ELEVATION

PRELIMINARY #
18-103

PLAN #
XXXX

SERIAL #
218075

SCALE
 3/16" = 1'